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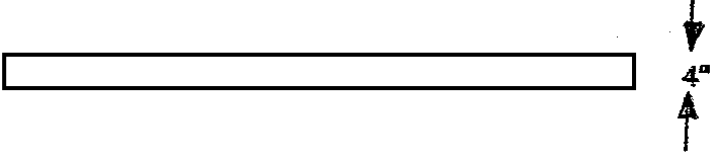


## Residential Detached Accessory Structure Plan Review and Inspection Schedule

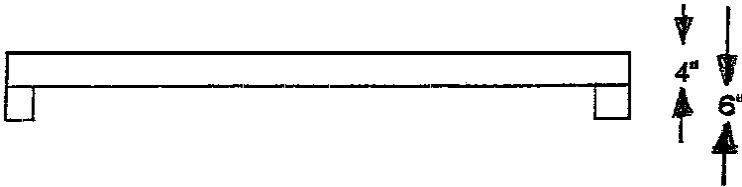
- Permits are not required for one story detached accessory structures used as tool and storage sheds, playhouses and similar uses, provided the floor area does not exceed 120 square feet and the structure does not utilize a permanent foundation. All others require a permit. Urbandale Ordinance 150.03 (3) a.
- See [Detached Accessory Structure Slab Specifications] for minimum slab and footing requirements.
- Accessory structures less than 10 feet from any other building or structure on the same parcel and/or less than 3 feet from a property line shall be provided with 5/8 inch type X gypsum board or equivalent on those walls less than 10 feet from any other building or structure on that parcel. Any accessory structure opening(s) in wall(s) parallel to and less than ten feet from dwelling unit wall(s) shall be fire rated in accordance with this Code.
- Bottom plates must be treated or approved wood of natural resistance to decay and must be bolted down with foundation bolts located within 12" of the ends of each piece and spaced no more that 6' on center. Top plates must be doubled and splices lapped at least 4'.
- All corners must have wind bracing consisting of full sheets of plywood or let-in diagonal 1X4 boards or diagonal metal wind bracing.
- Any building must have at least one hinged walk-through door for exiting purposes.
- Gable end minimum headers over overhead doors are two 2x8 Douglas Fir. Eave side minimum headers over 16' doors of a maximum 24" deep garage are a minimum of three 2x12 Douglas Fir members with 1/2" plywood glued and nailed between them. Other beams may be used such as glue laminated, flitch plate, or steel beam.
- Maximum rafter spacing is 24" on center using 2x6 spruce material spanning a maximum of 10'. To span 12', 2x8 Douglas Fir material must be used. Other spans and spacing can be utilized, and should be verified by referencing the code span charts.
- Roof sheathing must be plywood or oriented strand material (OSB) with the proper span stamp, or 1" nominal dimension lumber.
- If electrical wiring is desired, the electrician must protect all receptacles other than the overhead door operator with a Ground Fault Circuit Interrupter. Wiring must conform to the current edition of the National Electrical Code. Non Metallic Cable (Romex) must be protected from physical damage, so it must be securely attached to the sides of studs and otherwise be inaccessible. A disconnect must be provided in the garage, and grounding with a ground rod must be provided.
- **Easements:** Easements may not be encroached by an accessory structure so setback distances may be increased according to easements of record. Easements will be reviewed by City staff at the time of the building permit application and easement information will be noted on the permit.
- **Restrictive Covenants:** The owner should check the restrictive covenants for their neighborhood to assure compliance with covenant regulations regarding accessory structures. Covenant information may also be obtained at the Community Development Office.
- **Before you dig:** Call "One Call" for utility locations before you begin digging, at 811. Utility locations are typically completed within 48 hours of your request. Underground utility location prior to digging is required be state law. This service is free of charge.

## Detached Accessory Structure Slab Specifications

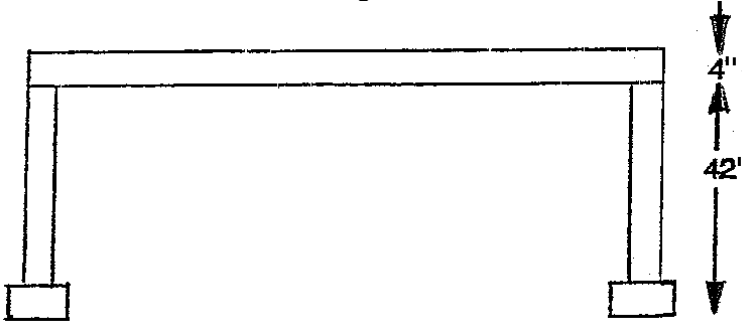
Garage slabs less than 400 Sq. Ft. may be a plain 4" thick slab.



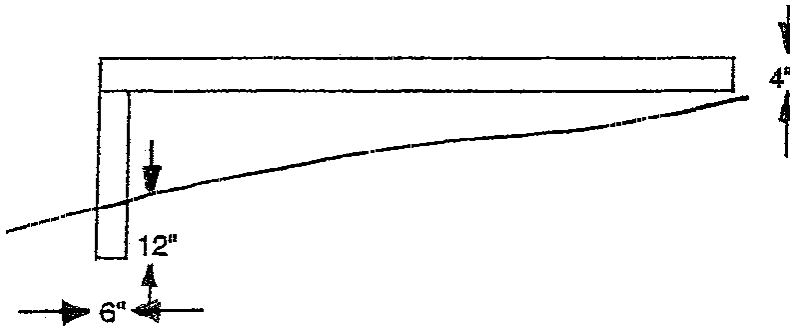
Garage slabs exceeding 400 Sq. Ft., but less than 1000 Sq. Ft., must have a 6" by 6" thickened area around the perimeter of the slab, underneath the 4" slab.



Garage slabs exceeding 1000 Sq. Ft. must have frost protected footings a minimum of 42" below grade. Well crumbed out 8" trenched footings are allowed.



Garage slabs for those garages smaller than 720 Sq. Ft., but where the site is sloping, must have a supporting wall a minimum of 12" into the original soil, and the minimum wall thickness is 6 inches.



## GENERAL PROVISIONS

### 160.25 General Regulations for Land and Structures.

(A) *Accessory buildings.* No accessory building shall be constructed upon a lot until the construction of the principal building has been actually commenced, and no accessory building shall be used unless the principal building is also being used.

(1) *Detached accessory buildings.*

(a) No detached accessory building shall be erected within the minimum setback required along any street, or within the minimum side yard setback required for a principal structure. Accessory buildings shall be located a minimum of ten feet from any other building or structure other than a fence on the same property unless fire protection is installed within the accessory building in accordance with the provisions of the Urbandale Building Code for an attached garage, in which case such minimum separation may be reduced to six feet. An accessory building shall not exceed 12 feet in height, except as provided herein.

(b) Detached accessory buildings for a single-family residence shall not occupy more than 30% of the dwelling's rear yard; shall have minimum setbacks of three feet from all property lines if the building's main floor is 720 square feet or less in area; minimum setback of ten feet from the rear property line and comply with the minimum side yard setbacks for the principal structure if the building's main floor area is more than 720 square feet but less than 1,000 square feet, or if a detached accessory building exceeds 12 feet but is not more than 14 feet in height; and shall comply with all setback requirements for a principal structure if the building's main floor area exceeds 1,000 square feet of floor area or if a detached accessory building has a height of more than 14 feet.

(c) Detached accessory buildings for multi-family or nonresidential uses shall have minimum setbacks of ten feet from all property lines if the building's main floor has less than 1,000 square feet of area; and shall have minimum setbacks of 25 feet from all property lines if the building's main floor area exceeds 1,000 square feet or if the building has a height of more than 12 feet.

(d) No detached accessory building shall exceed a height of 25 feet in any case.

(2) *Attached accessory buildings.* Accessory buildings except structures used to house urban or other livestock may be attached to the principal building provided that the accessory building complies with all yard requirements for a principal building, regardless of whether the connection consists of a common wall or a connection by a breezeway or open porch. If the connection is by breezeway or porch, a separation shall be maintained between the principal and accessory structures in accordance with division (A)(1) above.

(3) *Additions creating nonconformity.*

(a) In the event that a legally existing detached accessory building will be made nonconforming by reason of being placed in a side yard by an addition to a principal building, such existing accessory building may be retained as a legal nonconforming structure provided the following conditions have been met.

1. The existing accessory building and the addition to the principal building comply with all other zoning regulations and the Urbandale Building and Fire Codes including but not limited to separation between principal and accessory structures and other regulations specified by divisions (A)(1) and (A)(2) above.

2. The location and design of the addition to the principal building is determined by the Zoning Administrator to be the only reasonable and practical location for the addition.

3. The accessory building has been in existence for a minimum of three years as determined by the date of the certificate of occupancy or other verifiable means.

4. The Zoning Administrator determines that the nonconformity created does not alter the character of the neighborhood nor impair health, safety or general welfare.

(b) Such nonconforming accessory building shall not be constructed as part of the principal building nor attached thereto by a breezeway or similar structure.

(c) Such nonconforming accessory building shall be subject to the provisions of § [160.59](#) and shall not be extended, enlarged, reconstructed, moved, or structurally altered except when required to do so by law or order or so as to be in full compliance with divisions (A)(1), (A)(2) and (A)(3) above and other applicable regulations and requirements of this and other applicable codes, and if damaged to the extent of more than 50% of its assessed value, or is abandoned or becomes obsolete, it shall not be restored

except as to comply with the provisions of divisions (A)(1), (A)(2) and (A)(3) above and all other applicable regulations and requirements.

(d) If a building permit is denied by the Zoning Administrator because of failure to meet divisions (A)(3)(a)1. through (A)(3)(a)4. above or for other reasons specified by this Code, the applicant may appeal the decision to the Board of Adjustment.

(4) *Providing area for accessory structures.* Area should be provided for accessory buildings on properties zoned for detached single-family residences by preserving an area upon which a 22 feet by 22 feet detached structure or a 12 by 22 feet attached accessory structure can be located in compliance with all applicable regulations. Such area and access thereto shall have a slope of 5% or less and be suited for the intended purpose. Failure to include such provisions shall be grounds for rejecting plans for a principal structure or additions thereto.

## **Required Inspections**

1. **Footings/Setbacks**  
When footings are formed and before they are poured. The property corner pins must be exposed to verify setbacks. If the property corner pins cannot be found, it is the owner's responsibility to have a registered land surveyor establish these points.
2. **Framing Inspection**  
Can be combined with the Final Inspection if the studs and rafters remain exposed.
3. **Electrical Rough-In**  
Can be combined with Framing Inspection.
4. **Final Inspection**