

URBANDALE AQUATICS FACILITY FEASIBILITY STUDY

JULY 2016





PREFACE

We are grateful for the commitment, collaboration and insight of the Advisory Committee that made this plan possible. We especially appreciate the participation and engagement of Urbandale residents throughout the process. This plan strives to complement previous planning initiatives completed by the City of Urbandale and establishes strategic direction for future aquatic facility investments by the City.

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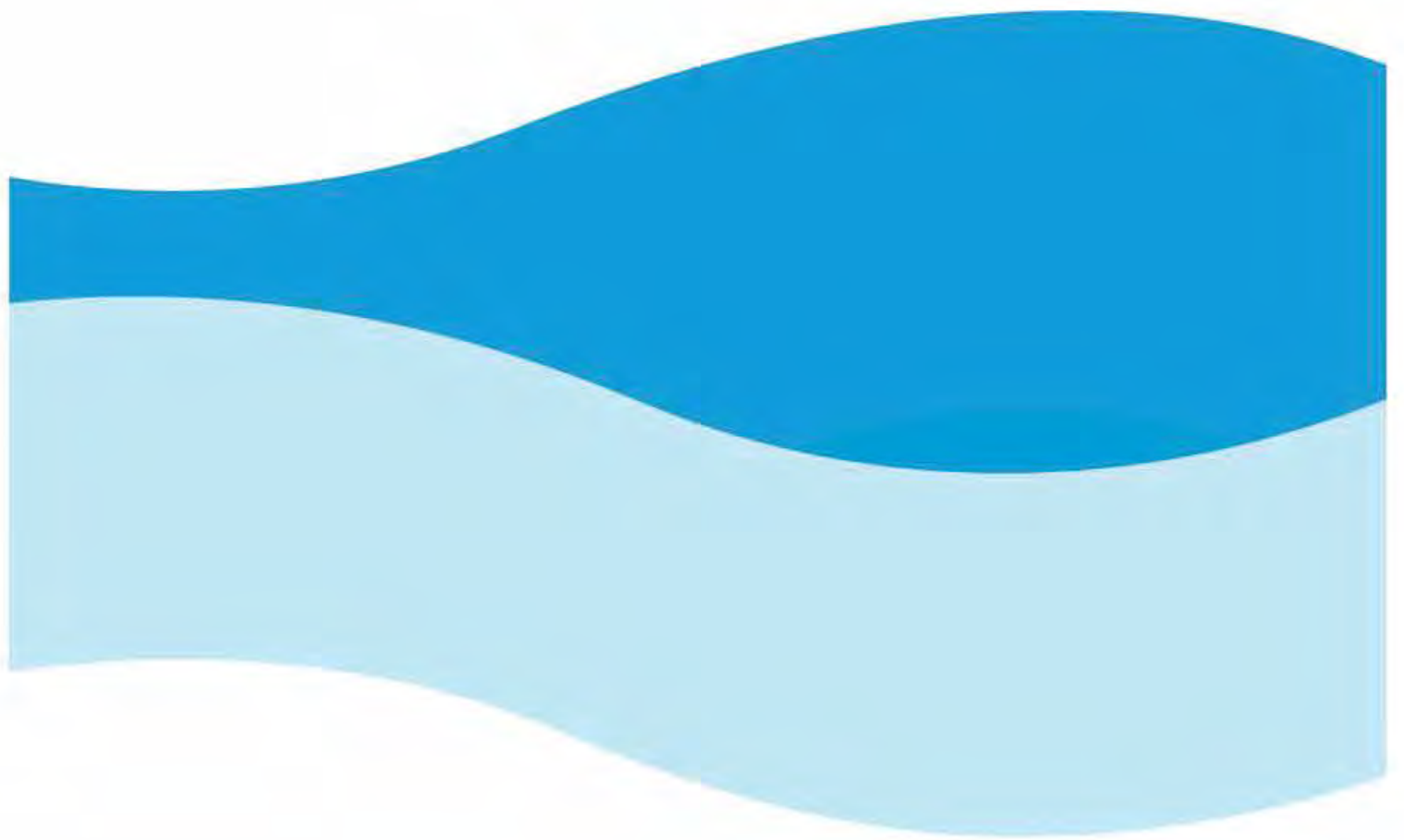
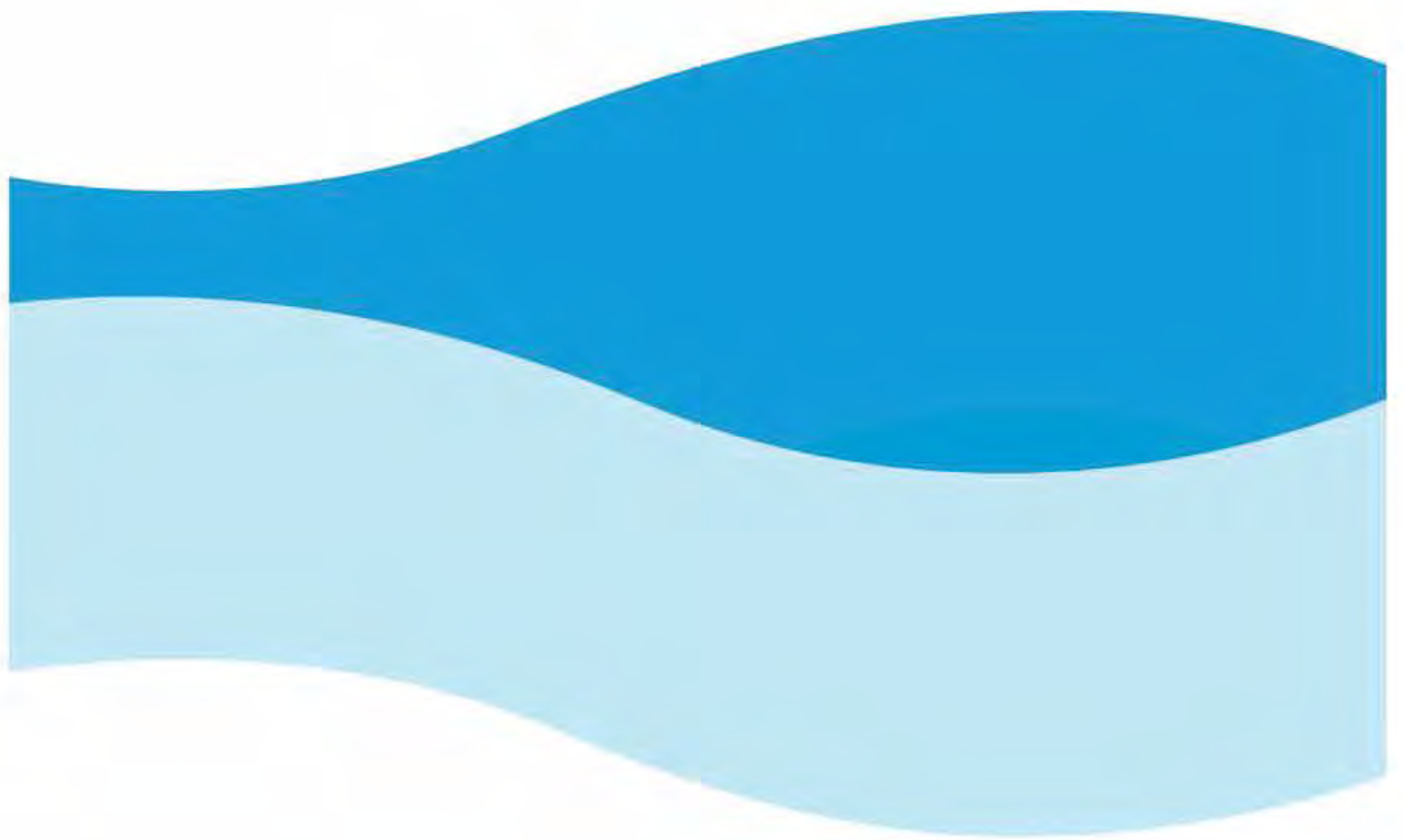


TABLE OF CONTENTS

Chapter 1.	Executive Summary	1
Chapter 2.	Market Review.....	5
Chapter 3.	Existing Urbandale Swimming Pool Assessment.....	13
Chapter 4.	Community and Stakeholder Engagement.....	25
Chapter 5.	Improvement Scenario Alternatives	31
Chapter 6.	Recommendations	49
Chapter 7.	Next Steps.....	53
Appendix	Visual Listening Online Questionnaire Tool and Results	



Chapter 1

EXECUTIVE SUMMARY



WALNUT CREEK ELEMENTARY SCHOOL
STAKEHOLDER SESSION

Results of Public Input

Attendance at the first open house and participation in the on-line questionnaire indicate strong interest in Urbandale aquatics. Features of interest at any new facility include adventure elements, lazy river, free swim, zero-entry/child pool and lap lanes. The public appears most interested in an indoor-outdoor facility with a location in western or central Urbandale. Residents generally support Urbandale owning the pool outright but partnering with other communities (or perhaps a non-profit) also garners interest. Two camps tend to speak most passionately about Urbandale Aquatics—those who value the current pool and would like to see it maintained as long as possible, and those who say an outdoor facility in western Urbandale is long overdue.

Current Scenario Recommendation

Based on public feedback, an indoor-outdoor scenario is recommended here, but it differs from the scenario presented at the open house in two key ways. First, it recommends a phased approach. Build the outdoor components first, and then as the current pool nears the end of its useful life, implement the indoor components. The second change results from that phased approach. Since the outdoor facility will go on-line first and there is strong interest in adult/senior and lap swim, this recommended scenario includes some minimal lap lanes in the outdoor portion.

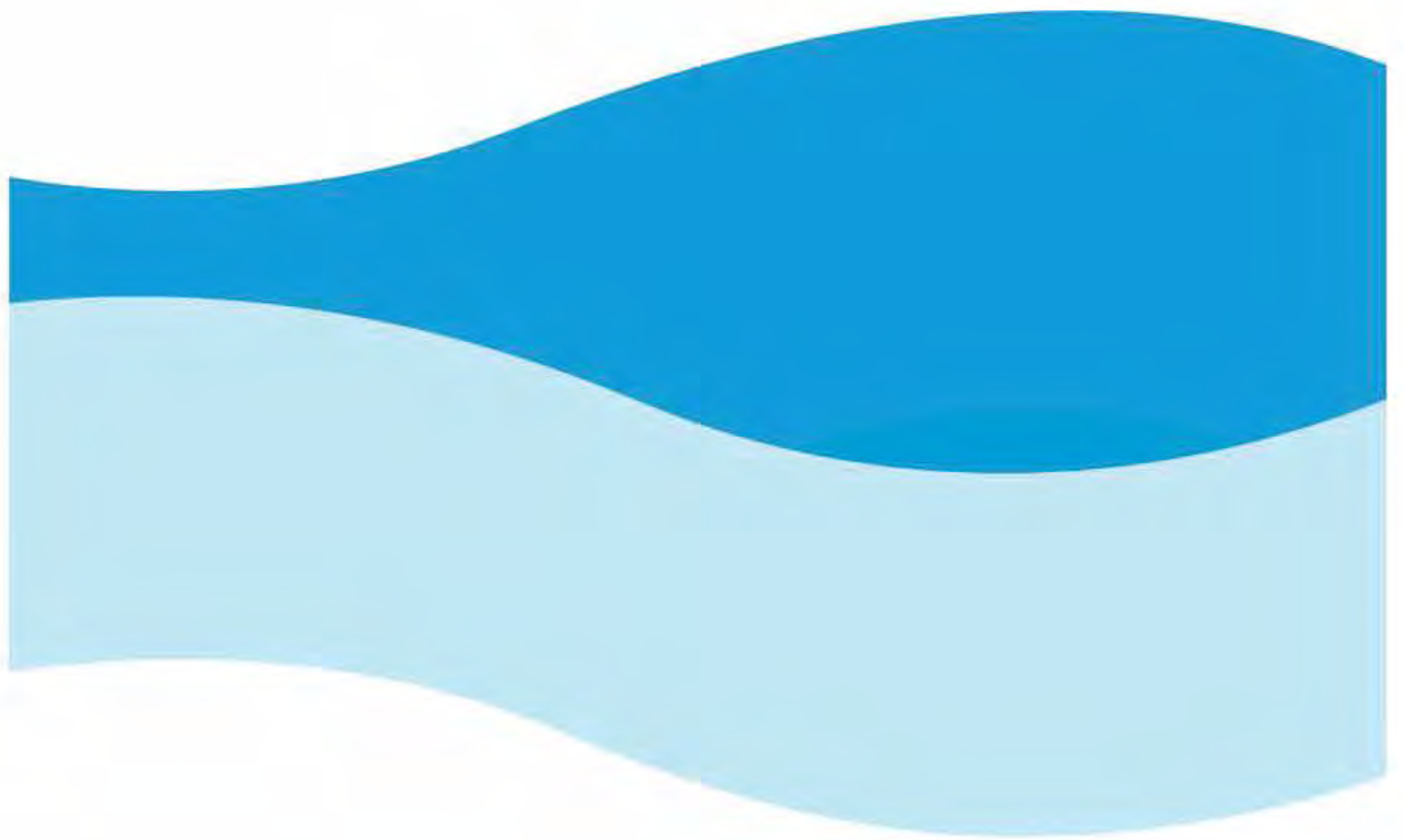
This scenario projects a Phase One capital cost of \$7,800,000 to \$10,400,000 with a projected annual subsidy of \$11,825 to \$45,900. Based on 15-year bond tables provided by Urbandale's finance department, these capital costs would add \$22.60 to \$29.38 in property taxes per \$100K taxable valuation. Phase Two project cost figures projected are \$10,600,000 to \$14,200,000 in additional capital expenses, \$225,000 to \$385,000 in additional subsidy and \$29.94 to \$40.11 in additional property taxes per \$100K valuation.

Recommended Next Steps

This study recommends two key next steps:

1. Continue conversations started here with surrounding communities to determine if any partnerships could, in fact, result in shared facilities at a location of mutual benefit. If so, include in the testing recommended below.
2. Conduct a random-sample survey of Urbandale residents' likelihood of supporting selected scenario(s) at specified locations to confirm if any option could garner sufficient support to move forward. At a minimum, test the phased option recommended above for the Walnut Creek Regional Park location.





Chapter 2

MARKET REVIEW

Introduction

The following is a summary of the basic aquatic facility market review for the identified service area for the City of Urbandale. Aquatic facility service areas can vary in size based on the types of components and features offered at a particular facility. An indoor aquatic facility with a blended offering of active or lap swimming and leisure swimming opportunities will generally have a larger service area than a single-use or limited-flexibility facility. Similarly, outdoor aquatic centers that offer unique amenities or experiences not available at other facilities in the region tend to have a larger service area than facilities with similar features to neighboring communities.

Service Areas

For purposes of this feasibility study, the primary service area is defined as the City of Urbandale, serving primarily Urbandale citizens, but offering facilities and services to citizens from neighboring communities. The secondary service area is defined as the larger Greater Des Moines Metropolitan Area—extended from Adel to Altoona and Ankeny to Indianola (see Figure 2.1). Existing aquatic facilities included in the inventory as part of this feasibility study include City facilities, private clubs and for-profit entities. Public and private school district aquatic facilities are not included in the inventory, as public access to these facilities for community use is limited.

Facility Inventory

Understanding the existing aquatic facility market is an important consideration when planning a new, expanded or renovated public aquatic facility to avoid duplication, oversaturation or unintended market competition. Maximizing revenue potential through facilities and programs that meet the needs of Urbandale citizens can be achieved when the facility offerings are targeted for the specific market demand. The first step in understanding what the Urbandale aquatic market could potentially support regarding a new aquatic facility is understanding what facilities exist within the secondary service area. See Figure 2.2 for a summary of existing aquatic facilities, indoor and outdoor, within the secondary service area with available facility data included.

Although the pool components of the Wellmark YMCA facility is noted within this aquatic facility inventory are not yet complete, these features are included in the inventory as the completion of these facilities is anticipated in the near future. The Wellmark YMCA will provide a premier competitive swimming facility for the entire secondary service area, offering an indoor 8-lane, 50-meter pool with spectator seating and significant indoor support facilities.

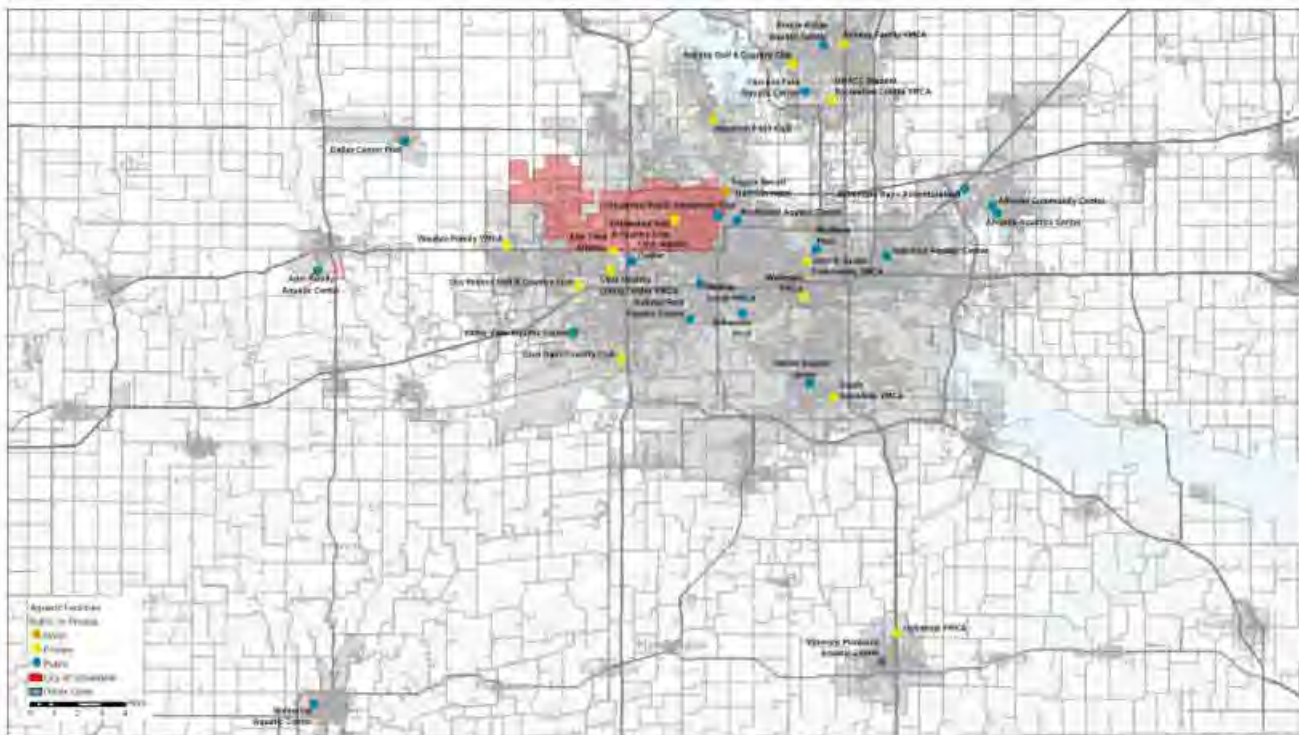
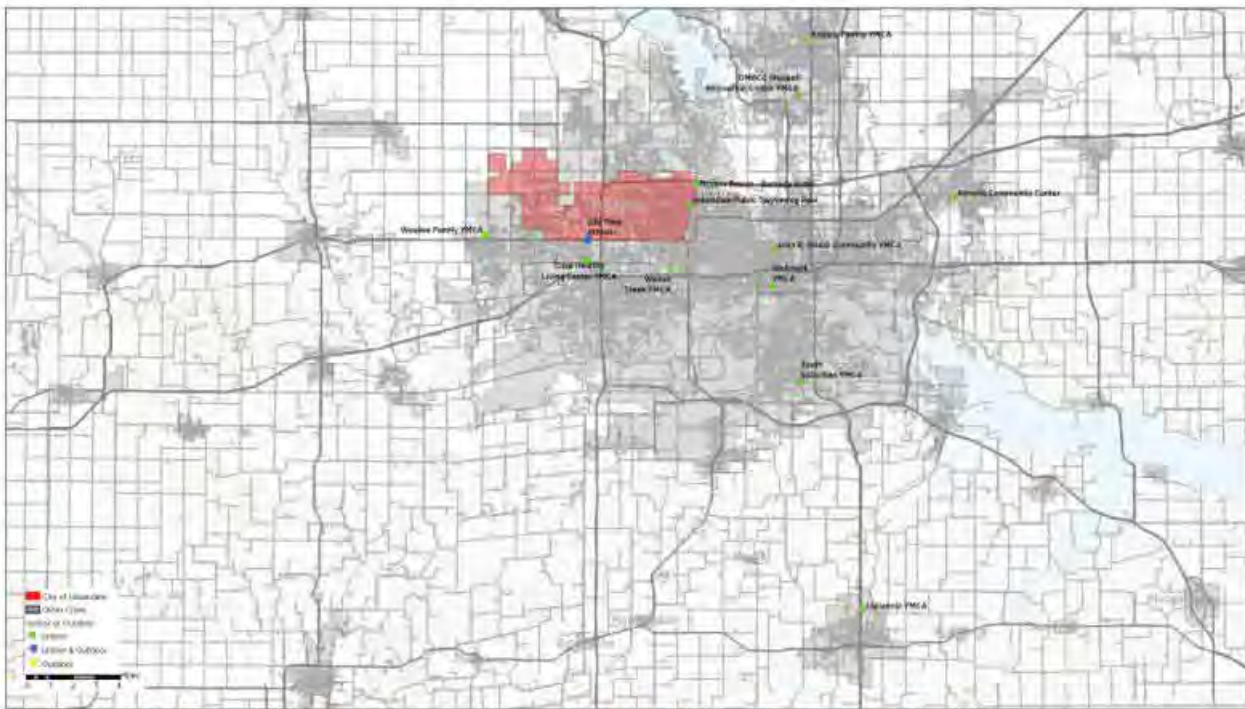


FIGURE 2.1
EXISTING
AQUATIC
FACILITIES

Figure 2.2 Aquatic Facility Inventory

Facility	City	Pub/Pvt	In/Outdoor	Leisure/Compet.	Water SF (000's)	Pools	Zero-Depth	Lap Lanes	25 or 50M	Slides	Splash Pad	Flow River	Change Rms	Lockers	Concess.	Adult Daily Admiss.	Youth Daily Admiss.	Resident Season Pass	Non-Resident Season Pass	Annual Member -ship	Const.	Const Cost \$MM
Adel Family AC	Adel	Pub	Out	L							Y				Y							
Altoona AC	Altoona	Pub	Out	L	14.7	1	Y	6	25	4	N	N	Y	Y	Y	\$5.75	\$5.75	\$90.00	\$125.00	NA		
Adventure Bay	Altoona	Pub	Out	L	40.0	4					Y				Y	\$42.00	\$37.00	NA	NA	\$125.00		
Altoona Comm.	Altoona	Pub	In	L/C		1																
Cascade Falls AC	Ankeny	Pub	Out	L	21.0	3	Y	8	50	6	N	Y	Y	Y	Y	\$7.00	\$1.00	\$90.00	\$130.00	NA	2010	\$9.0
Prairie Ridge AC	Ankeny	Pub	Out	L	14.0	1	Y	2	25	2	Y	N	Y	Y	Y	\$4.00	\$1.00	\$90.00	\$130.00	NA		
Ankeny Fam. YMCA	Ankeny	Pvt	In	L/C		1	N	8	25	0	N	N	Y	Y	Y	NA	NA	NA	NA	\$576.00		
Ankeny Golf & Ctry	Ankeny	Pvt	Out	L		1																
DMAACC Rec YMCA	Ankeny	Pvt	In	L/C	7.1	2	Y	8	25	0	N	N	Y	Y	Verd						ongoing	\$2.5
Clive Aquatic Center	Clive	Pub	Out	L	16.0	2	Y	6	25	3	Y	N	Y	Y	Y	\$8.00	\$5.00	\$84.80	\$121.90	\$-	2003	\$4.6
Clive HLC YMCA	Clive	Pvt	In	L	3.2	3	N	4	25	0	N	N	Y	Y	Y	NA	NA	NA	NA	\$936.00		\$1.5
Dallas Center Pool	Dal Ctr	Pub	Out	L	3.4	1	N	5	25	0	N	N	Y	Y	Y	\$3.00	\$3.00	\$40.00	\$40.00	NA		
Northwest AC	DSM	Pub	Out	L		1	Y	3	25	1	N	N	Y	Y	Y	\$4.00	\$2.00	\$45.00	\$45.00	NA		
Nahas AC	DSM	Pub	Out	L		1	Y	3	25	2	N	N	Y	Y	Y	\$4.00	\$2.00	\$45.00	\$45.00	NA		
Teachout AC	DSM	Pub	Out	L		1	Y	3	25	2	N	N	Y	Y	Y	\$4.00	\$2.00	\$45.00	\$45.00	NA		
Birdland Pool	DSM	Pub	Out	L		2	N	8	50	1	N	N	Y	Y	Y	\$4.00	\$2.00	\$45.00	\$45.00	NA		
South Sub. YMCA	DSM	Pvt	In	L																		
Grubb Comm. YMCA	DSM	Pvt	In	L/C		1																
Wellmark YMCA	DSM	Pvt	In	L/C	14.2	2	N	8	Both	0	N	N	Y	Y	Y						pending	
Ashworth Pool	DSM	Pub	Out	L		1	N	8	50	0	N	N	Y	Y	Y	\$4.00	\$2.00	\$45.00	\$45.00	NA		
Veterans Mem. AC	Indianola	Pub	Out	L	12.9	1	Y						Y									
Indianola YMCA	Indianola	Pvt	In	L	6.7	2	Y	8	25	1	N	N	Y	Y	Y	NA	NA	NA	NA	\$576.00		
Hyperion Field Club	Johnston	Pvt	Out	L/C		1																
Life Time Athletic	Urbandale	Pvt	I/O	L	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	pvt	2014	pvt
Urbandale Public Pool	Urbandale	Pub	In	L	5.7	2	N	6	25	0	N	N	Y	Y	Y	\$4.00	\$-	\$110.00	\$140.00	NA		
Tropics—Ramada	Urbandale	Hotel	In	L	18.0	3				2												
Urbandale Golf/Ctry	Urbandale	Pvt	Out	L		1																
Waukeee Fam. YMCA	Waukeee	Pvt	In	L/C	6.8	2	Y	8	25	1	N	N	Y	Y	Y	NA	NA	NA	NA	\$576.00	2009	\$1.7
DM Golf & Country	WDM	Pvt	Out	L		1																
Glen Oaks Country	WDM	Pvt	Out	L		1																
Valley View AC	WDM	Pub	Out	L	24.4	3	Y	8	25	8	N	N	Y	Y	Y	\$8.00	\$5.00	\$80.00	\$120.00	NA	2003	\$6.2
Holiday Park AC	WDM	Pub	Out	L	11.2	1	Y	4	25	4	N	N	Y	Y	Y	\$8.00	\$5.00	\$80.00	\$120.00	NA	2004	\$3.9
Walnut Creek YMCA	Wind Hts	Pub	In	L/C																		
Winterset AC	Winterset	Pub	Out	L	10.6	1	Y	2	25	4	N	N	Y	Y	Y	\$5.50	\$5.50	\$65.00	\$65.00	NA	2006	\$2.8

**FIGURE 2.3
EXISTING
INDOOR
AQUATIC
FACILITIES**



Indoor Facilities

The existing Urbandale Swimming Pool provides indoor aquatic opportunities to residents and nonresidents. The Urbandale Swimming Pool is located on the extreme eastern edge of the City of Urbandale. Other facilities offering indoor aquatic opportunities within the secondary service area are illustrated in Figure 2.3.

Outdoor Facilities

The City of Urbandale does not currently offer outdoor pool facilities to residents. While the existing indoor Urbandale Swimming Pool does have an outdoor splash pad adjacent to the building, the amenity does not provide a pool or other aquatic amenities. Two private providers offer outdoor aquatic opportunities within the primary service area, Urbandale Golf and Country Club and Lifetime Fitness. The secondary service area includes several outdoor aquatic centers operated by other cities (public) and private entities. See Figure 2.4 for the location of all outdoor aquatic facilities within the secondary service area included in this inventory.

**FIGURE 2.4
EXISTING
OUTDOOR
AQUATIC
FACILITIES**

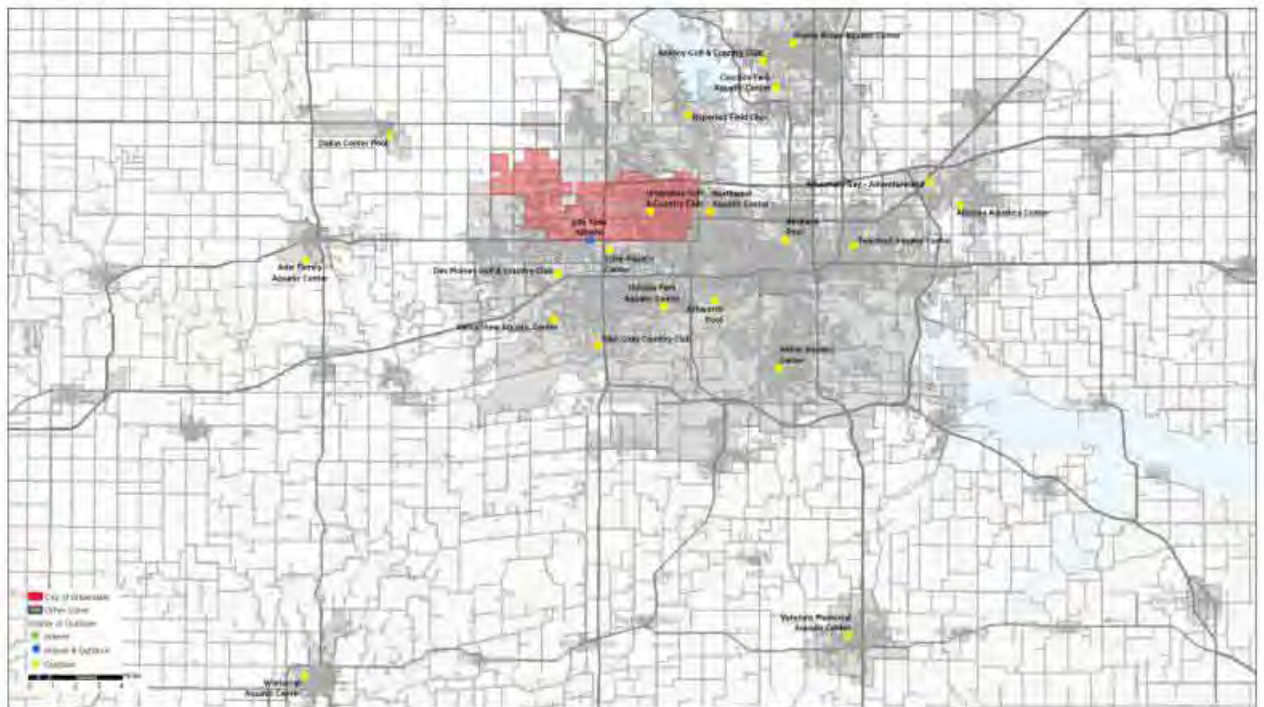
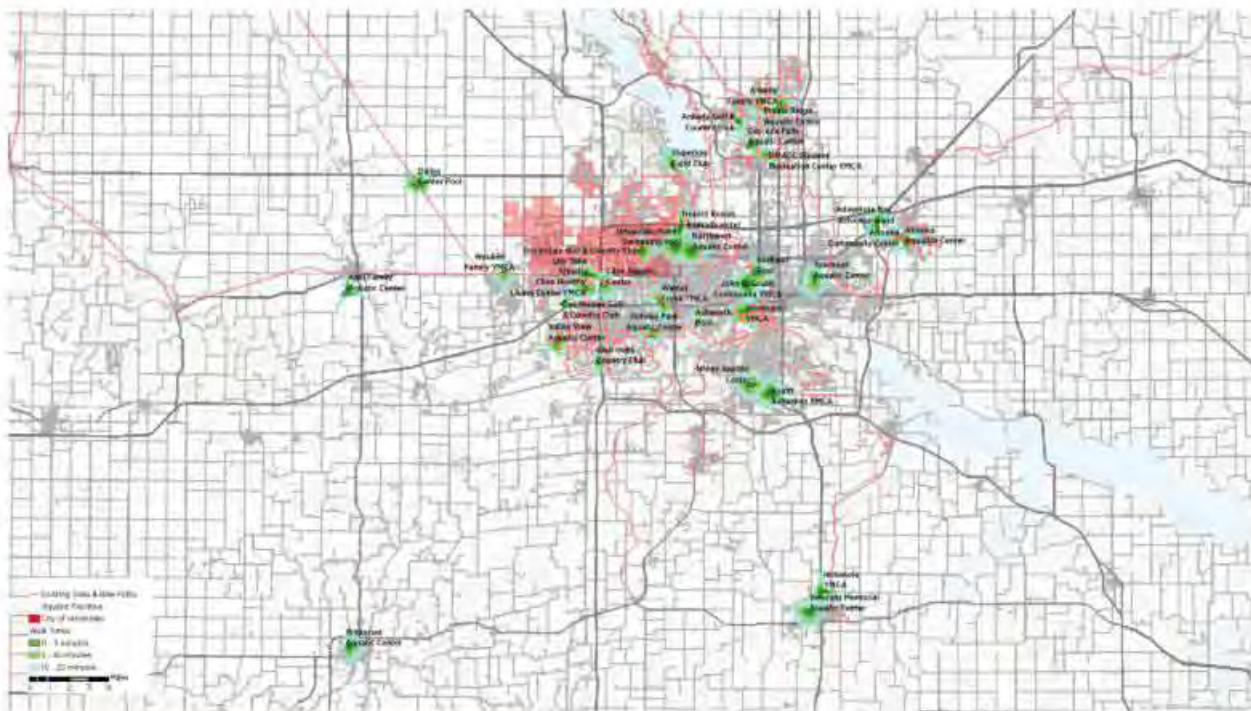


FIGURE 2.5
WALKING
DISTANCES
TO/FROM
EXISTING
AQUATIC
FACILITIES

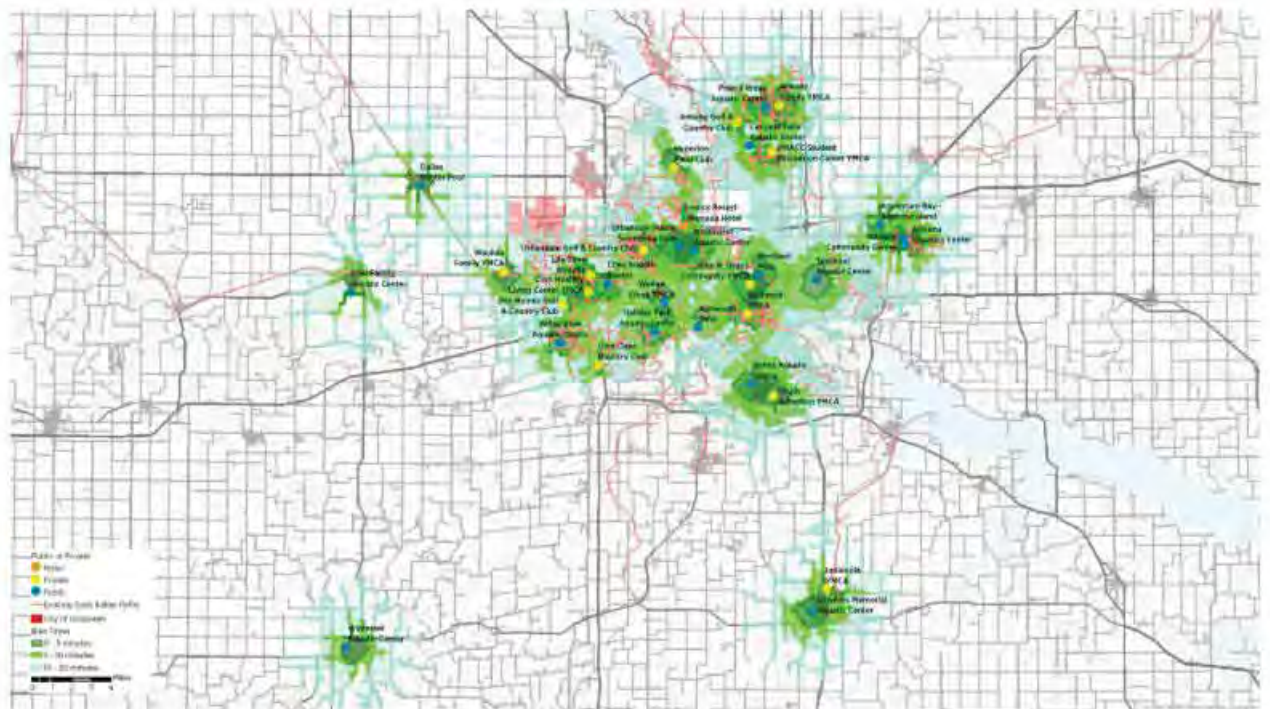


Aquatic Facilities Proximity

While several indoor and outdoor aquatic facilities exist within the secondary service area, the proximity of these facilities to Urdandale residents varies. Figure 2.5 illustrates 5-, 10- and 20-minute walking distances to/from existing aquatic facilities within the secondary service area. Figure 2.6 illustrates 5-, 10- and 20-minute biking distances to/

from existing aquatic facilities within the secondary service area. Figure 2.7 illustrates 2-, 5- and 10-minute driving distances to/from existing aquatic facilities within the secondary service area.

FIGURE 2.6
BIKING
DISTANCES
TO/FROM
EXISTING
AQUATIC
FACILITIES



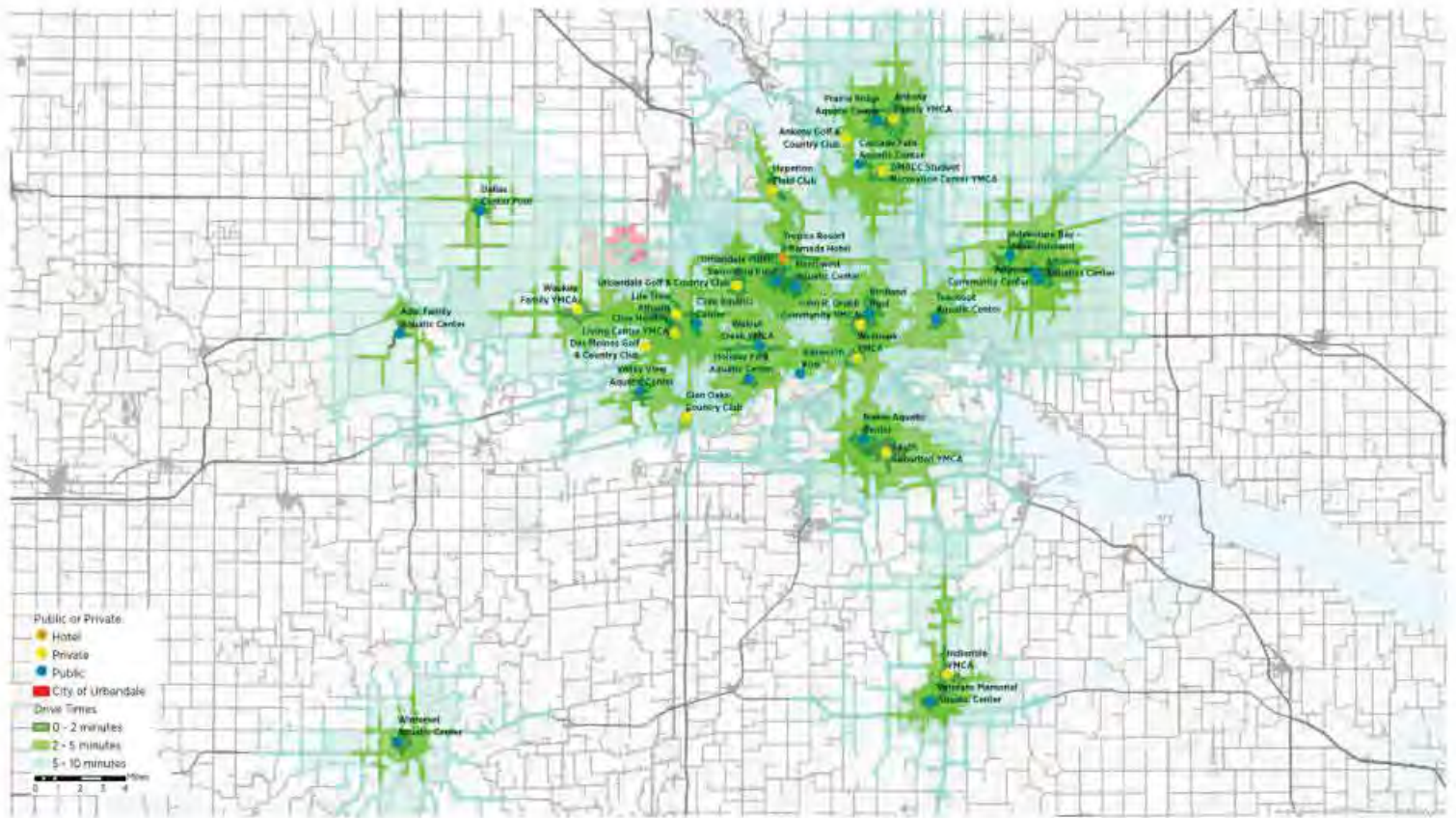


FIGURE 2.7
DRIVING DISTANCES TO/FROM EXISTING AQUATIC FACILITIES

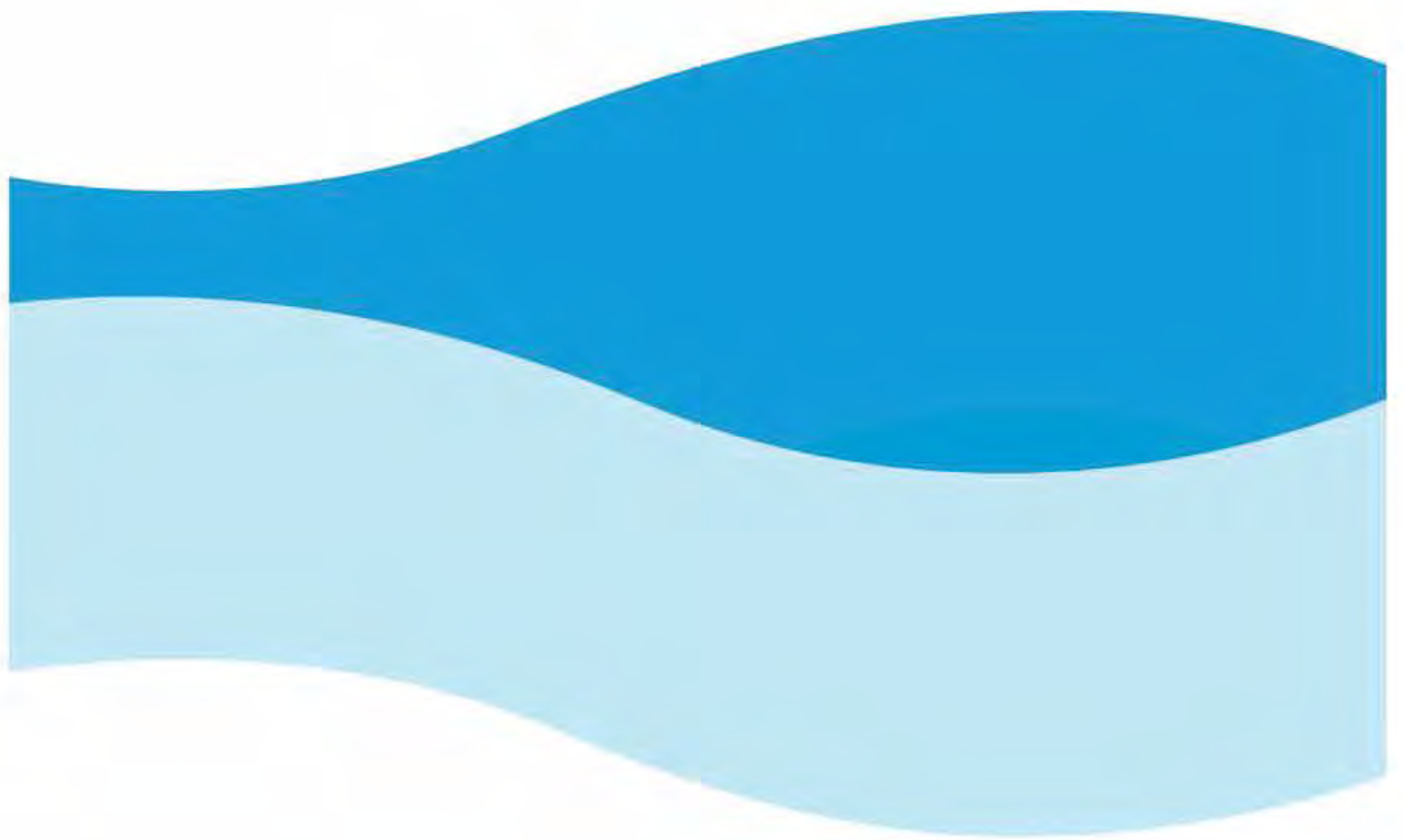
Conclusion

The location and proximity of existing indoor and outdoor aquatic facilities within the secondary service area provides a baseline understanding of geographic gaps or opportunities for new facilities to be contemplated in future growth areas to meet current and future aquatic facility needs of Urbandale residents. The proximity mapping inventory, specifically Figure 2.7 illustrating 2-, 5- and 10-minute driving distances to/from existing aquatic facilities within the secondary service area, would seem to indicate geographic market capacity exists for a new aquatic facility to be developed in the northwest region of the City of Urbandale.

The master plan created for Walnut Creek Regional Park indicates a potential site for a proposed aquatic center located just south of Meredith Drive and east of 156th Street (see Figure 2.8). This potential location for a proposed aquatic center seems to coincide with the geographic aquatic market demand.



FIGURE 2.8
WALNUT CREEK REGIONAL PARK MASTER PLAN



Chapter 3

EXISTING SWIMMING POOL ASSESSMENT

Introduction

The following is a summary of a visual assessment tour of the existing Urbandale Swimming Pool completed as part of this feasibility study process to establish a baseline understanding of the types and conditions of aquatic facilities currently offered to residents by the City of Urbandale.



Pool Assessment—Previous Study

- 1975 Original building
- 2008 Pool and enclosure upgrades
 - Re-anchor precast concrete panels
 - Negative pressure to eliminate moisture drive
 - Clean and tuck point masonry
- 2013 Study - Focused on building shell, MEP, systems
 - Soffits need repair
 - Precast at NE corner of pool needs repair
 - Framing of skylight needs repair or replacement
 - Boiler room water discharge is causing rust
 - Chlorine tanks need a mat to contain leaks, repair concrete and steel
- 2013 Study did not address aquatics

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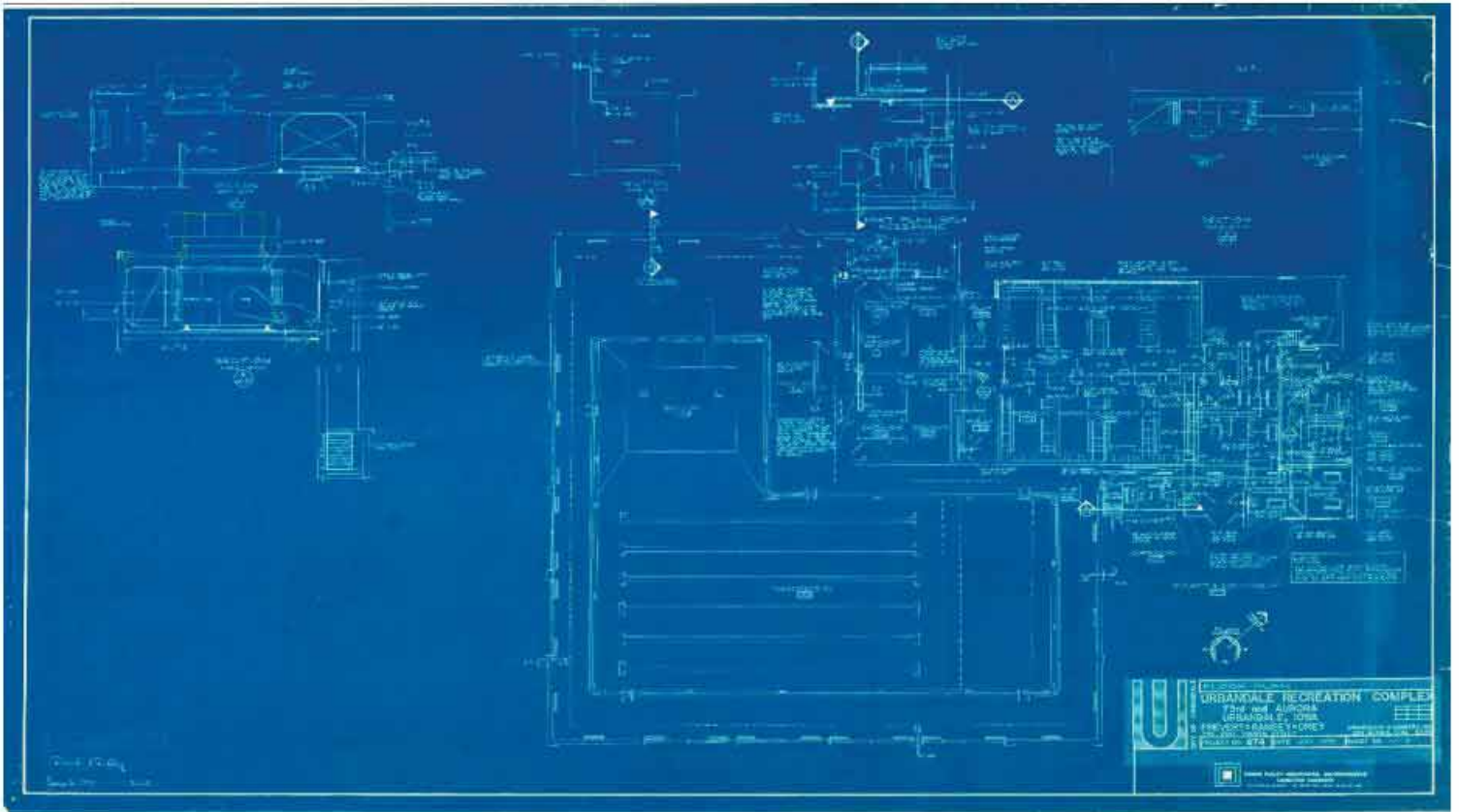
November 20, 2013

City of Urbandale Public Swimming Pool Study

Mr. David McKay, Director of Engineering
City of Urbandale
3600 86th Street
Urbandale, IA 50322



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EXISTING FACILITY CONSTRUCTED IN 1975

Building—Exterior Condition



- Splash Pad Deck Cracks



- Precast Deterioration



- Precast Movement



- Corrosion on Exterior Steel Angles
- Potential indication of moisture in walls



- Efflorescence
- Sign of Moisture in Walls



- Precast Deterioration—at a location that is away from the pool

Building—Interior Condition



- Doors do not close
- Significant air infiltration
- Not adequate sealant and gaskets around frames



- Doors have multiple air infiltration issues
- Result:
 - Increased energy costs
 - Rain water
 - Insects



- Great natural light



- Roof structure in reasonably good condition



- Some rust on steel weld plates



- Signs of some roof leaks



- Corrosion and condensation at skylight



- Cracks in paint finish
- Could be paint failure or wall could be moving



- Wall movement



- Deck cracks
- Porous deck material—hard to clean



- Acoustic wall panels are taking on moisture



- Light Levels at night probably are not adequate
- Chloramines

Building—Existing Space Types and Sizes



- Lack of storage



- Showers that will not get used
- Today's patron expects private showers



- Lockers are rusting
- More lockers than needed
- Not ADA compliant



- Not enough offices
- Not adequate size
- Generally desire free zone and control zone access



- Not adequate wet classrooms
- Tracking of salt, dirt, etc back into the pool

Current List of Building Spaces

- Lobby
- Office
- Staff Control
- Natatorium / Pool
 - Lap Area
- Locker Rooms
 - Male and Female
- Restrooms
- Mechanical Room
- Pool Equipment Room
- Storage
- Parking

Possible List of Building Spaces

- Lobby
- Office
- Staff Control
- Natatorium / Pool
 - Lap Area
 - **Leisure Area**
- Locker Rooms
 - Male and Female
 - **Family**
- Restrooms
- Mechanical Room
- Pool Equipment Room
- Storage
- **Wet Classrooms / Party Rooms**
- **Lounge**
- Parking

New features listed in **boldface**.

Aquatics



- Limited pool programs so limited revenue potential
- Limited diving—verify depths
- No shallow water
- No lower-age group lessons
- No play groups or parties
- Minimal deck space
 - No swim meets
 - No large groups



- Works well for senior classes
- Warm water temperature challenges other programs
- Dark areas a safety risk
- Acoustics need improvement



- No dehumidification
- Leaking doors—drafts; ice
- Pool liner—wrinkled and stained
- No family locker rooms
- Limited storage



- Vacuum DE filter—verify size
- Disinfection—bleach
- pH control—acid
- No UV
- Pool heat from building boilers



- Outdoor spray pad
- One shade structure
- Separate water treatment
- Flush and vertical sprays
- Modest use by patrons

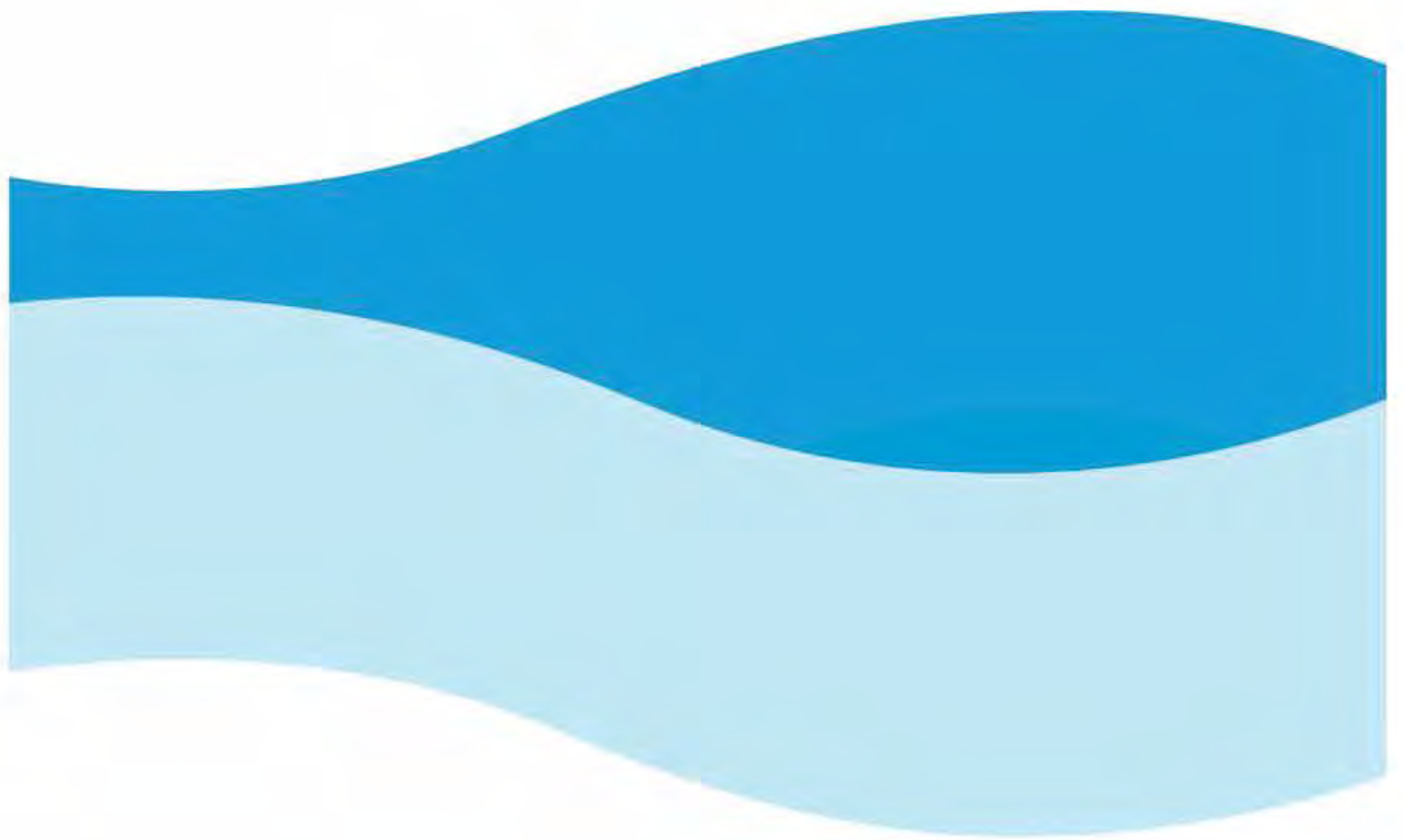
Current List of Aquatic Spaces

- Pool
 - Lap swimming
 - Diving
 - Play
 - Indoor deck area
 - Outdoor deck area
- Parties in Lobby

Possible List of Aquatic Spaces

- Pool
 - Lap Swimming
 - Diving
 - **Slide**
 - **Bubble Coach**
 - **Vortex**
 - **Basketball**
 - **Current Channel**
 - **Zero Entry**
 - **Climbing Wall**
 - **Movie Screen / Video Board**
 - **Viewing area**
 - Larger indoor deck area
 - Outdoor deck area
- **Party Rooms**

New features listed in **boldface**.



Chapter 4

COMMUNITY AND STAKEHOLDER ENGAGEMENT

The Urbandale Aquatics Feasibility Study has focused on community engagement throughout the development of this report. Perhaps one of the most significant aspects of feasibility relates to public interest in the project and willingness to invest time and resources. This report recommends a future scientifically valid, random-sample study. Still, robust community engagement has occurred here, allowing the consulting team to identify likely needed elements for the future of aquatics in Urbandale.

Process Overview

Community engagement involved oversight by an advisory committee, a series of stakeholder sessions and interviews, two public open houses, an on-line questionnaire and an input/information session with the Urbandale City Council and the Urbandale Parks and Recreation Commission on May 31, 2016 (prior to final review by the Parks and Recreation Commission on June 8, 2016 and the City Council's final review of the study report on July 18, 2016).

Advisory Committee

In the early stages of this study, the City of Urbandale Parks and Recreation Director partnered with the consulting team to recruit and convene an Advisory Committee to provide insights in the development of the study, review the work and assist with connecting to the public. The advisory team members met as a committee four times over the course of the study and additionally, some of the members met as part of other focus/discussion groups in support of this plan. Advisory committee members are listed in the Acknowledgements page of this report.

City Council

City Council Member Creighton Cox has served this study on the Advisory Committee (see above) and Council Members have also participated in public processes. On May 31, 2016, the consulting team presented findings to the Urbandale City Council to secure feedback and address questions related to the study. The Urbandale City Council reviewed and approved a final version of this report at its regular meeting on July 18, 2016.

Parks and Recreation Board

At the Board's June 8 meeting, a final draft of this feasibility study was presented to the Parks and Recreation Board for input and final changes prior to recommending the report to the Urbandale City Council for approval.

Focus Groups and Interviews

A series of stakeholder sessions and interviews were initiated to inform development of Urbandale Aquatics Scenarios for the public to consider. All of these groups/interviews were led by RDG Planning & Design with Parks and Recreation Director Jan Herke involved in many of the conversations. Topics pursued in these conversations included:

- Current aquatics use in the area
- Strengths and challenges of Urbandale's current aquatics program and facilities
- Identified potential aquatics needs and interests
- Benefits and challenges in maintaining and/or updating Urbandale's current aquatics facilities
- Benefits and challenges in building, maintaining, operating new facilities
- Location preferences for new facilities
- Potential for partnerships in support of Urbandale Aquatics
- Valued aquatics features

A generic "discussion guide" developed to assist in conducting these conversations appears in the Appendix of this report.



WEBSTER ELEMENTARY SCHOOL
STAKEHOLDER SESSION

Discussion groups/interviews included:

- Seniors and current Urbandale pool users
- Urbandale residents actively interested in aquatics
- Urbandale Middle School and High School P.E. teachers
- Urbandale Chamber of Commerce
- Central Iowa Aquatics (regional competitive swimming)
- Walnut Hills Elementary
- Webster Elementary
- Waukee YMCA director
- Waukee Schools superintendent
- City of Waukee—key staff leadership
- City of Grimes—key staff leadership

The key findings of these discussions are addressed in the “emerging themes” discussion included later in this chapter of the report.

Public Open Houses

The consulting team with Urbandale Parks & Recreation facilitated two public open houses. Both open houses were held at the Giovannetti Community Shelter at Walker Johnston Park. The first was held on April 4, 2016 with approximately 90 persons in attendance (78 signed in). A brief presentation was provided regarding:

- Conditions and costs of the current pool system (see Chapter 3)
- A geographic assessment of pool access (see Chapter 2)
- A summary of “emerging themes” that had emerged through focus groups/interviews at that point in the study.

Following the presentation, participants were invited to participate in a “visual listening” exercise (using dots to indicate their interest or disinterest in particular pool features) and to complete a questionnaire. 75 questionnaires were completed. They were also invited to participate in tabletop conversations similar to those held with focus group/interview participants above, where they were asked to address what they saw as the key aquatics needs in

VISUAL
LISTENING
BOARD



Urbandale. The questionnaire and results are included in the Appendix of this report. The results generally echo those of the larger on-line questionnaire made available to residents for completion during the last two weeks of April (see below). Results of the tabletop conversations are part of the “emerging themes” included in this chapter.

The second public open house was held on May 23, 2016. A presentation of the results from the on-line questionnaire were provided (see below) along with detailed information related to four possible aquatics scenarios. Twenty-plus persons were in attendance with 21 signing in. Again, participants were asked to fill out a questionnaire. Of the 21 persons filling out the questionnaire, ten indicated Scenario C (an indoor-outdoor option) was their preferred scenario. Six preferred the smaller indoor-only option (Scenario A). Three selected the outdoor-only option (D) and two selected the expanded indoor option (B). Of those 21 attending, 16 indicated they were “strongly” interested in seeing the City of Urbandale move forward with the development of an aquatics facility. Three were “moderately” interested and two were strongly disinterested.

On-Line Questionnaire

An on-line questionnaire was provided for the public to offer input. The questionnaire was widely publicized through traditional and social media and posted at the current pool facility as well as other city outlets. The response of 1,040 persons does indicate strong interest in this topic. It should be emphasized, however, that this is not a random-sample, scientifically valid questionnaire. The results reported here

cannot be projected to the larger Urbandale population, but they do provide insight into elements (pool features, supporting services, programming and location) of potentially greatest interest to those currently most aware of this project.

Charts/graphs depicting all of the results are included in the Appendix of this report, but we indicate highlights here.

Demographics and Residents/Non-Residents

The demographics further reinforce that this study cannot be projected to Urbandale as a whole. The sample is 71% female, 29% male, and 84% are between the ages of 25 and 54. Nine percent (9%) are age 55-69; 3% age 16-24; 2% each age 15 or younger or 70+. More than three-quarters (77%) have children under the age of 18 living at home. Another 5% have grandchildren periodically in their care. Forty-five percent (45%) of the respondents live West of I-35/80 in Urbandale and 29% live East of I-35/80. One-fourth (25%) of the respondents are not Urbandale residents but when comparing responses between residents and non-residents, differences appear minor—the demographic data is essentially the same and the ranking of interests remains generally consistent.

Preferred Features

Respondents were asked to check no more than three pool features of greatest interest to them. Four features surfaced in a top tier:

- Adventure Features (46%)
- General/Free Swim (44%)
- Lazy River (41%)
- Area for Small Children/Zero Entry (37%)

Lap swimming led a middle tier at 29% interest.

What primary features are of greatest interest to you in a new aquatics facility?

Answer	Percent
Adventure features (tunnels, funnels, slides, etc.)	46%
General/free swim area	44%
Lazy river	42%
Area for small children/zero-entry pool	37%
Lap swim area	29%
Competitive swimming/Olympic-size pool	20%
Areas for instruction/learning	16%
Diving boards	10%
Areas for sports (water basketball, polo, etc.)	6%

Programming Interest and Importance

When asked to check the top two reasons they would use an Urbandale Aquatics facility, three-quarters (78%) checked “recreation/fun” followed by 36% “exercise/training” and 29% “learn to swim/lessons.” But when asked what they see as the most important programs to offer at a new facility, 76% called out “swim lessons.”

What would you see as the most important programs to offer at a new aquatics facility?

Answer	Percent
Swim lessons	76%
Water aerobics/water exercise	48%
Lap swimming for all ages	48%
Competitive swimming for school-age students	34%
Physical therapy	13%
Competitive swimming for adults	7%

Indoor-Outdoor

Only 8% have no preference for indoor vs. outdoor. A plurality (42%) asks for both indoor and outdoor features at the new facility. Nearly one-third (32%) prefer an outdoor pool. An indoor pool is preferred by only 17% of the sample.

Location and Costs

As for where to locate this facility, 47% call for West of I-35/80 aligning with where respondents reside. Sixteen percent (16%) name East of I-35/80 and nearly one-third (31%) seek a central location for the facility. The balance (6%) call for some other location. According to this questionnaire, where residents swim today is quite varied with the more central location of Clive Aquatics Center earning a plurality of responses at 47%.

Currently, where are the aquatics facilities you and your family use most often?

Answer	Percent
Clive Aquatics Center	47%
City of Urbandale Pool (next to Urbandale High School)	36%
Pools in West Des Moines	27%
Waukee YMCA	26%
Lifetime Fitness	17%
Pools in the City of Des Moines	13%
Pools in Ankeny	12%
Pools in Adel, Grimes, Johnston—or other suburban community	9%
Walnut Creek YMCA	6%

Partnering

While a majority (55%) say they would be most likely to vote for a new aquatics facility if the city had full ownership, only slightly fewer (52%) entertain the notion of the city partnering with another community. Forty-one percent (41%) express support of a partnership between the city and a non-profit, but only 29% agreed with the concept of a private, for-profit business partnering with the city.

Emerging Themes

The input as outlined above was used to develop the aquatics facility scenarios found in this report. In order to inform those scenarios, results were compiled as “emerging themes” to help guide the process. Those themes are as follows:

Facilities are largely at capacity, providing challenges to sharing but also speaking to facility need.

The facilities of the NW sections of Polk County are reported as “at capacity” most of the time, but particularly on hot summer days. While sharing existing facilities (with Clive or West Des Moines, for example), holds some level of promise, the capacity issue is a challenge. At the same time, this capacity issue (when coupled with service maps) speaks to a potential need for expanded aquatic facilities in Northwest Polk County—particularly facilities for public access.

Community partnerships may hold the most promise.

Conversations with schools and non-profit/private facilities acknowledge some of the challenges in meeting all the demand for facilities, but a burning interest in partnering with the City of Urbandale for a new facility does not surface. The impression received at the time of this writing is that Waukee Schools and/or the YMCA (for example) have extended themselves to the point that they're comfortable and they do not intend to take on additional facility (or operational) expenses.

At the same time, the cities of Waukee and Grimes recognize a community quality-of-life need, and might have more than a casual interest in future discussions.

As per the on-line questionnaire, residents involved in this process so far express a preference for pure Urbandale

ownership of a facility or partnership with other communities. This speaks to continued conversations with nearby communities such as Waukee, Clive, Grimes and/or possibly Johnston.

Partnerships and/or year-round facilities perceived as necessary for broad-based support.

Few of the leaders with whom we spoke see a referendum for an Urbandale Aquatic Facility succeeding unless it is part of a broader partnership to defray expenses and/or it's a year-round facility to show 12-month benefits. Many of the leaders we visit with recognize the public shows its greatest interest in pool facilities in the summer months, but they question the viability of passing an initiative for a 2- to 3-month window of service, particularly if no meaningful partnerships are in place.

Summer out, winter in—makes the preferred facility.

Recognizing the interest in playing outdoors during summer months, most speak to the need for a facility that provides users an open-air experience when weather permits. At the same time, with the recognized interest in year-round service, many speak for a coverable portion of the pool for the cold-weather months. Those considering the viability of passing a referendum insist on the indoor pool; however, when considering the quality of the experience, outdoor access resonates more strongly.

Findings supporting an indoor-outdoor facility potentially shift when costs are considered. Still, many see value in launching an indoor-outdoor approach in phases, starting with an outdoor facility and adding indoor services if the current facility outlives its useful life.

Partnering challenges include ownership, branding and coordination.

At the same time partnerships are lauded as a possible strategy for support, they're also acknowledged as a challenge. Even those most supportive of partnering for a NW suburban pool speak to how difficult it is to ensure all parties have a strong sense of ownership, that a brand is jointly held (all partners clearly identified as players, consistent with their brand/identity) and that the players are successfully coordinating. These are all issues on top of financing and advocating for a project, they say. While they don't acknowledge any particular rifts in collaboration

among the potential partners, they see a pool—with its special mix of operational issues and costs (not to mention first costs)—as a potentially high level-challenge for partnering success.

Kids want excitement and something new.

Seniors and others speak to year-round access to laps, aerobics instruction and easy in-and-out. Not so, their youthful counterparts. This is no surprise, but for this facility to have appeal to young families, a classic pool won't do. In most conversations with students, facility appeal was based less on the ability to swim in the pool and much more on the sense of adventure it provided. Some of these families make the trek to Ankeny to experience that top-line facility. Students who venture no further than Clive have come to expect reasonably high-end facilities. When the students talk about “aquatic facilities,” their definitions are high-energy, high-adventure. The on-line questionnaire also shows adventure facilities are top vote-getters by those 1,040 respondents (see above).

Kids cite tunnels, funnels, flumes, BIG slides, climbing walls, lazy rivers and things they have yet to imagine. These students are quick to invent. They dream up big ideas for ways to have fun in pools—most of which involve some combination of the more adventurous elements they've seen so far.

Residents acknowledge the East-West location challenge.

As the questionnaire shows, interest in location skews parochial. Those living West of I-35/80 seek a facility on that side of town. Others tend to be more interested a centralized location. Respondents in the interviews often speak to the linear nature of Urbandale and the obstacle they consider I-35/80 to be for siting a pool facility.

People speak about bikeable facilities, but the necessity is unclear.

While respondents speak to wanting an aquatic facility that is a bikeable distance for their children, we spoke to few students who ever get dropped off at the pool. Instead, parents take them and stay. That may indicate an interest in continuing adult supervision, de-emphasizing the importance of a bike-accessible location.

Aquatics facility may be good for business but causes tax challenges.

The business community speaks of the value of “quality of life” amenities, and places the pool in the category of a desired piece. At the same time, small businesses in particular (who are less in the game of competing nationally to attract talent) may be more inclined to strictly see the tax burden. An exception could be restaurants or retail that gain traffic if the facility serves as a sufficient attractor for the region.

Chapter 5

IMPROVEMENT SCENARIO
ALTERNATIVES

The following is a summary of the facility improvement scenario alternatives developed to meet the current and anticipated future aquatic needs of the Urbandale community identified during the community and stakeholder engagement efforts of this feasibility study. Each scenario offers a different, yet focused approach to meet specific aquatic facility needs and wants expressed by the community. Additionally, each scenario strives to balance the Urbandale community aquatic facility needs and wants with the secondary service area aquatic market capacity potential discussed in Chapter 2—Market Review.

Scenario A—Conventional Indoor Pool

This first scenario provides a comparable pool to the existing Urbandale indoor pool, with one exception. Two pool basins are recommended: a traditional rectangular pool with a diving area that overlaps the lap lanes and a separate shallow water pool.

Separate pools allow different water temperatures to be maintained in each pool, with cooler water for the lap pool and warmer water for the shallow recreation pool. A glass dividing wall between the pools will further enhance the operations by allowing a different air temperature and humidity to be kept in each space. Noise separation is also helped with this detail.

The traditional lap pool is planned as a six-lane short-course pool with one-meter springboard diving. Water depths should be suitable for multi-purpose uses, including programs for swim instruction, exercise swimming and a variety of classes, as well as competition swimming. A shallow water depth of 3.5 feet and a maximum water depth of 13.5 feet are recommended.

A ramped entry into the lap pool provides ADA access and a convenient method for all users to enter and exit the pool.

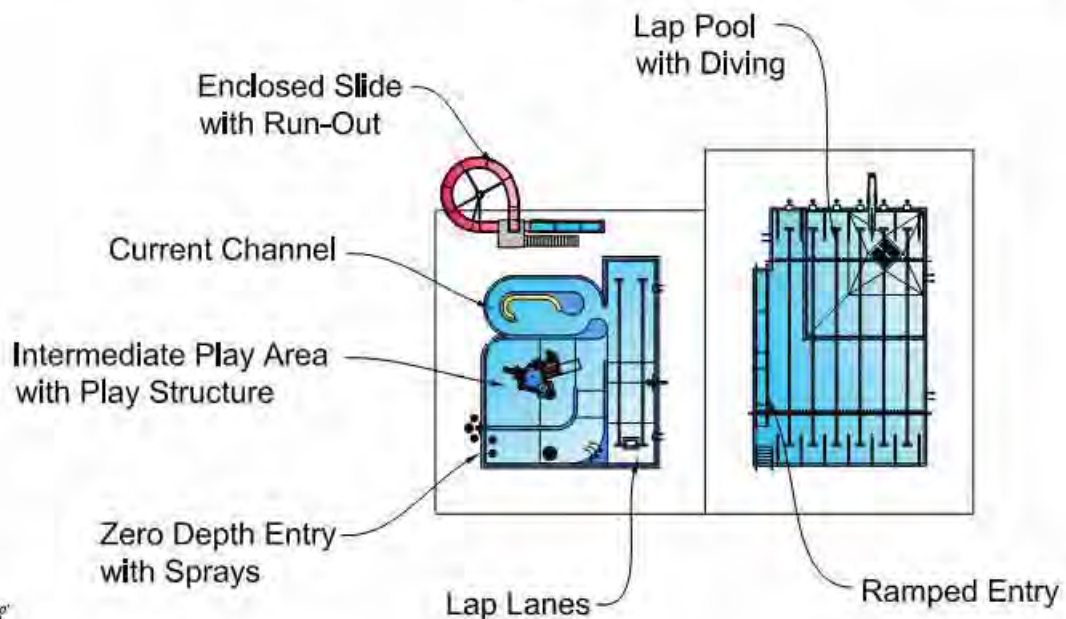
The recreation pool will emphasize shallow, warm water and provide fun features. Key features follow:

- Two short lap lanes
- Zero-depth area with sprays
- Play structure with a toddler slide
- Current channel
- Enclosed tube water slide with a run-out

The total water surface area is 6,500 SF.

Building spaces include approximately 15,800 SF of natatorium, 3,700 SF of locker rooms and 14,250 SF of support spaces such as community rooms, offices, restrooms, lobby, circulation, pool equipment, custodial and storage areas. Total building area is 33,750 SF.

Construction of Scenario A and associated site support elements, including 125 parking spaces, would require approximately 8 acres of relatively developable land.





Slide with Runout



Current Channel

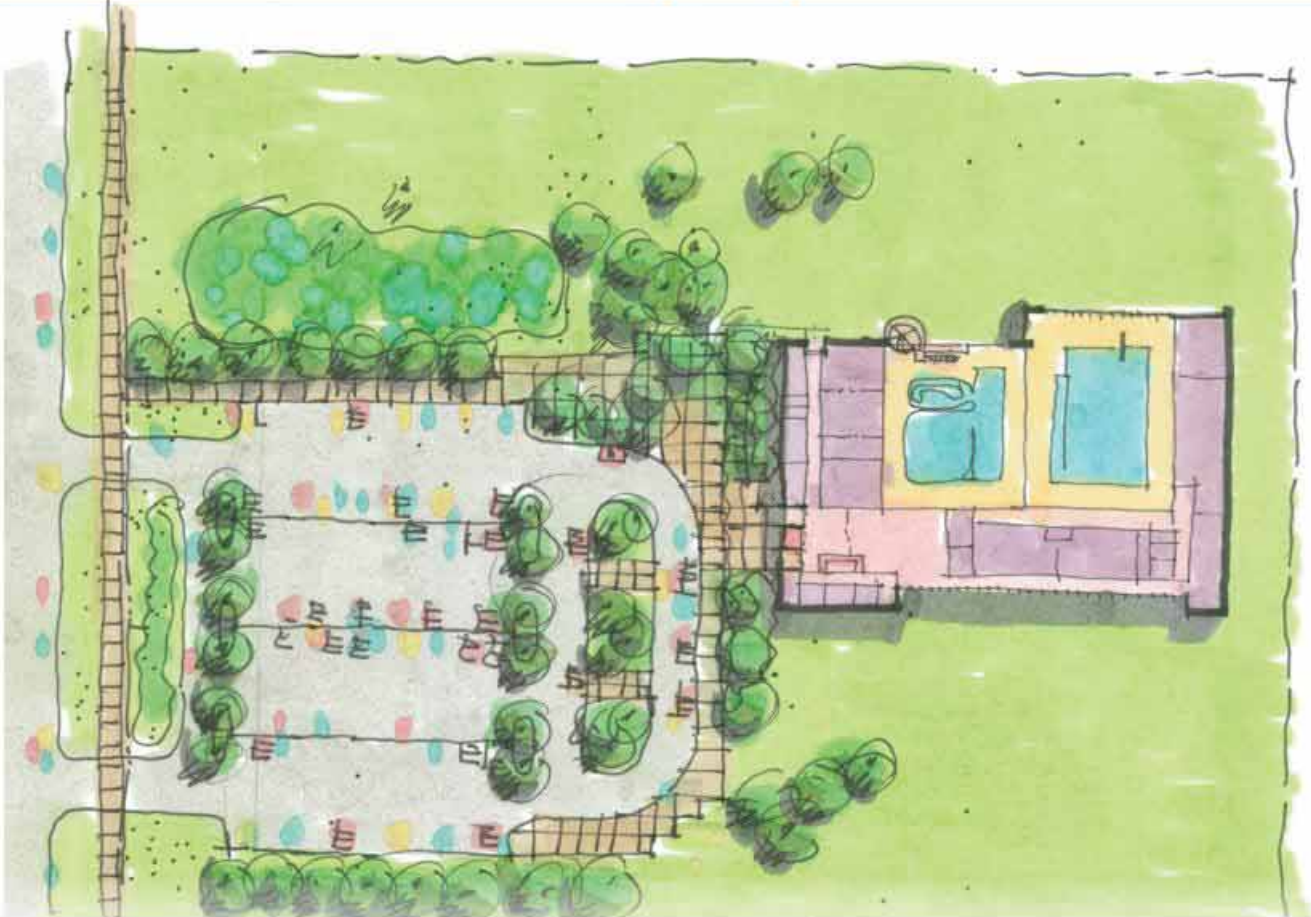


Shallow Spray, Zero Depth



Interactive Play Structure

Scenario A—Conventional Indoor Pool (cont'd)



Opportunities

- Lower capital cost option
- Year-round use
- Potential to accommodate many age groups
- Accommodates some level of family fun, possibly competitive swim
- Could be used to complement an existing outdoor system

Challenges

- Potential for competitive swim training, but somewhat limited
- Smaller foot print limits the number of users at any one time
- Does not directly provide outdoor summer experience

Total Project Development: *

\$11,500,000 to \$15,500,000

Annual Expenditures Ranges: **

\$450,000 to \$700,000

Annual Revenue Potential:

\$225,000 to \$315,000

Anticipated Cost Recovery

45% to 50%

Net Annual Operations Subsidy

\$225,000 to \$385,000

Current Swimming Pool

2015 Operations Subsidy:

\$371,287

FUNDING: * 15-Year Annual Property**

Tax Levy Per \$100,000 Valuation

\$32.48 to \$43.78

* Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.

** Based on program elements identified above in 2017 dollars. Includes operating, staffing and facility maintenance costs.

*** Based on City of Urbandale CIP – Quick Levy Forecast Tool, Preliminary 1/1/2015 Taxable Valuation.

Indoor Aquatic Elements

Lap Lanes Pool: 3,700 SF

- Cool water
- 4 lanes (exercise and lap swimming)
OR
- 6 lanes (for basic swim meet)
- Shared deep water/diving

Leisure Pool: 2,800 SF

- Warm water
- Shallow water play
- Open swim area (3-ft.- to 4-ft.-deep water)
- Sloped entry
- Lap lanes (2)

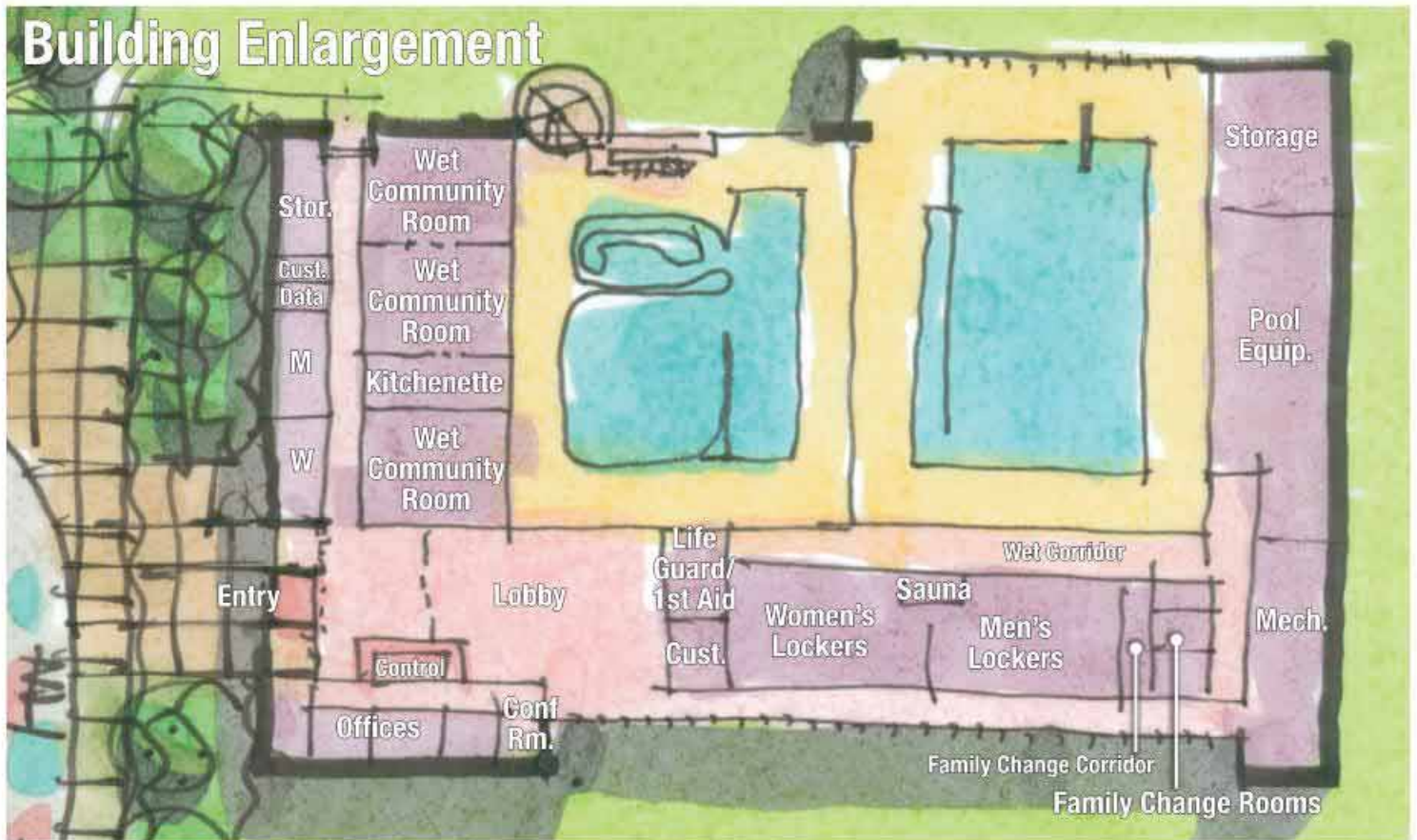
Site Elements

125 parking spaces
8-acre site

Indoor Building Spaces

Natorium	15,800 SF
Locker rooms	3,700 SF
Support spaces	14,250 SF
Total building	33,750 SF

Building Enlargement



Scenario B—Expanded Indoor Aquatic Center

This scenario includes a lap pool and also introduces an expanded, separate recreation pool. The lap pool size and features are slightly different than those for Scenario A. A six-lane lap area is provided, but the diving area is slightly offset from the lap lanes. This provides additional deep water for more programs. A climbing wall also uses the diving area.

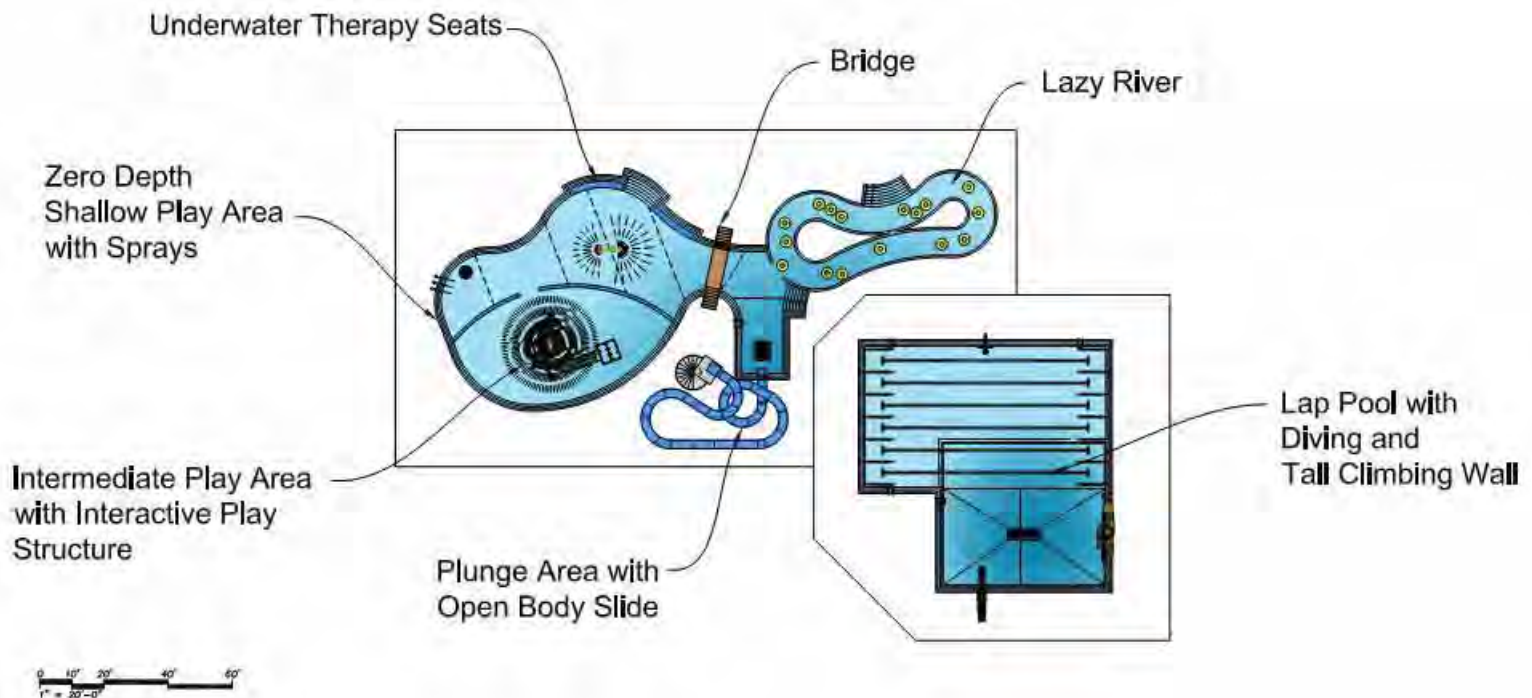
The recreation pool has the following key features:

- Underwater therapy seats
- Zero-depth area with sprays
- Intermediate play area with interactive play structure
- Lazy river
- Open body water slide with a plunge area

The total water surface area is 10,700 SF.

Building spaces include approximately 27,500 SF of natatorium, 4,900 SF of locker rooms and 19,600 SF of support spaces such as community rooms, offices, restrooms, lobby, circulation, pool equipment, custodial and storage areas. Total building area is 52,000 SF.

Construction of Scenario B and associate site support elements, including 190 parking spaces, would require approximately 9 acres of relatively developable land.





Slide with Runout



Play Structure with Dumping Bucket



Volleyball Net



Tall Climbing Wall

Scenario B—Expanded Indoor Aquatic Center (cont'd)



Opportunities

- Year-round use
- Potential to accommodate many age groups
- Potential to accommodate many user groups with limited conflicts
- Provides year-round, family-friendly fun
- Provides some entertainment unique to the region

Challenges

- Increases in cost
- Does not provide outdoor summer experience
- Higher operational costs
- Higher capital costs

Total Project Development: *

\$17,900,000 to \$23,900,000

Annual Expenditures Ranges: **

\$680,000 to \$1,000,000

Annual Revenue Potential:

\$408,000 to \$500,000

Anticipated Cost Recovery

50% to 65%

Net Annual Operations Subsidy

\$272,000 to \$500,000

Current Swimming Pool

2015 Operations Subsidy:

\$371,287

FUNDING: * 15-Year Annual Property**

Tax Levy Per \$100,000 Valuation

\$50.67 to \$67.81

* Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.

** Based on program elements identified above in 2017 dollars. Includes operating, staffing and facility maintenance costs.

*** Based on City of Urbandale CIP – Quick Levy Forecast Tool, Preliminary 1/1/2015 Taxable Valuation.

Indoor Aquatic Elements

Lap Lanes Pool: 4,900 SF

- Cool water
- 4 lanes (exercise and lap swimming)
OR
- 6 lanes (for basic swim meet)
- Separate deep water/diving
- Rockscape climbing wall

Leisure Pool: 5,800 SF

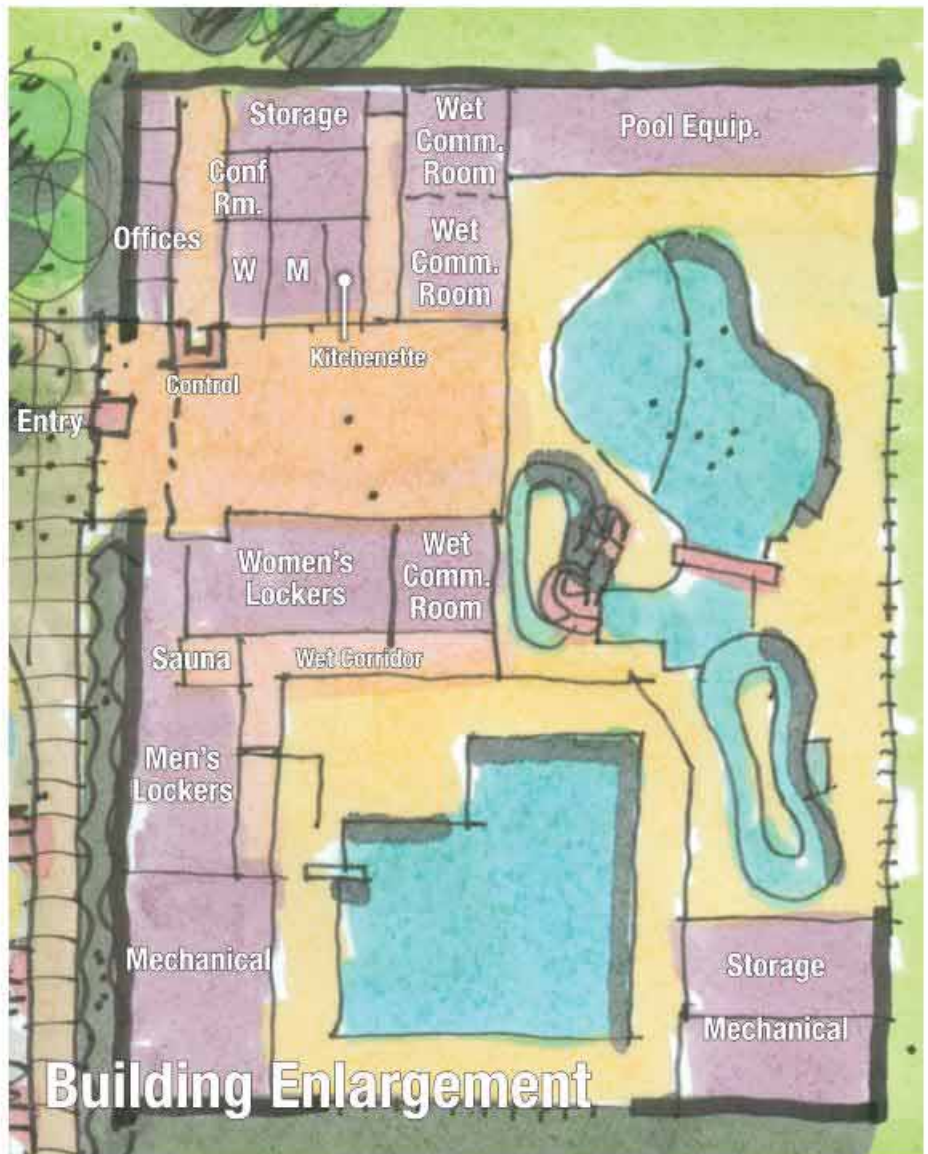
- Warm water
- Shallow water play
- Open swim area (3-ft.- to 4-ft.-deep water)
- Zero-depth entry with spray features
- Large interactive play structure with dumping bucket
- Lazy river

Site Elements

190 parking spaces
9-acre site

Indoor Building Spaces

Natorium	27,500 SF
Locker rooms	4,900 SF
Support spaces	19,600 SF
Total building	52,000 SF



Scenario C—Balanced Indoor-Outdoor Aquatic Center

The indoor pool from Scenario B is combined with an outdoor pool concept to create Scenario C. The outdoor pool has a recreation focus to better complement the indoor features without duplicating the more costly deep water features.

The outdoor pool has the following key features:

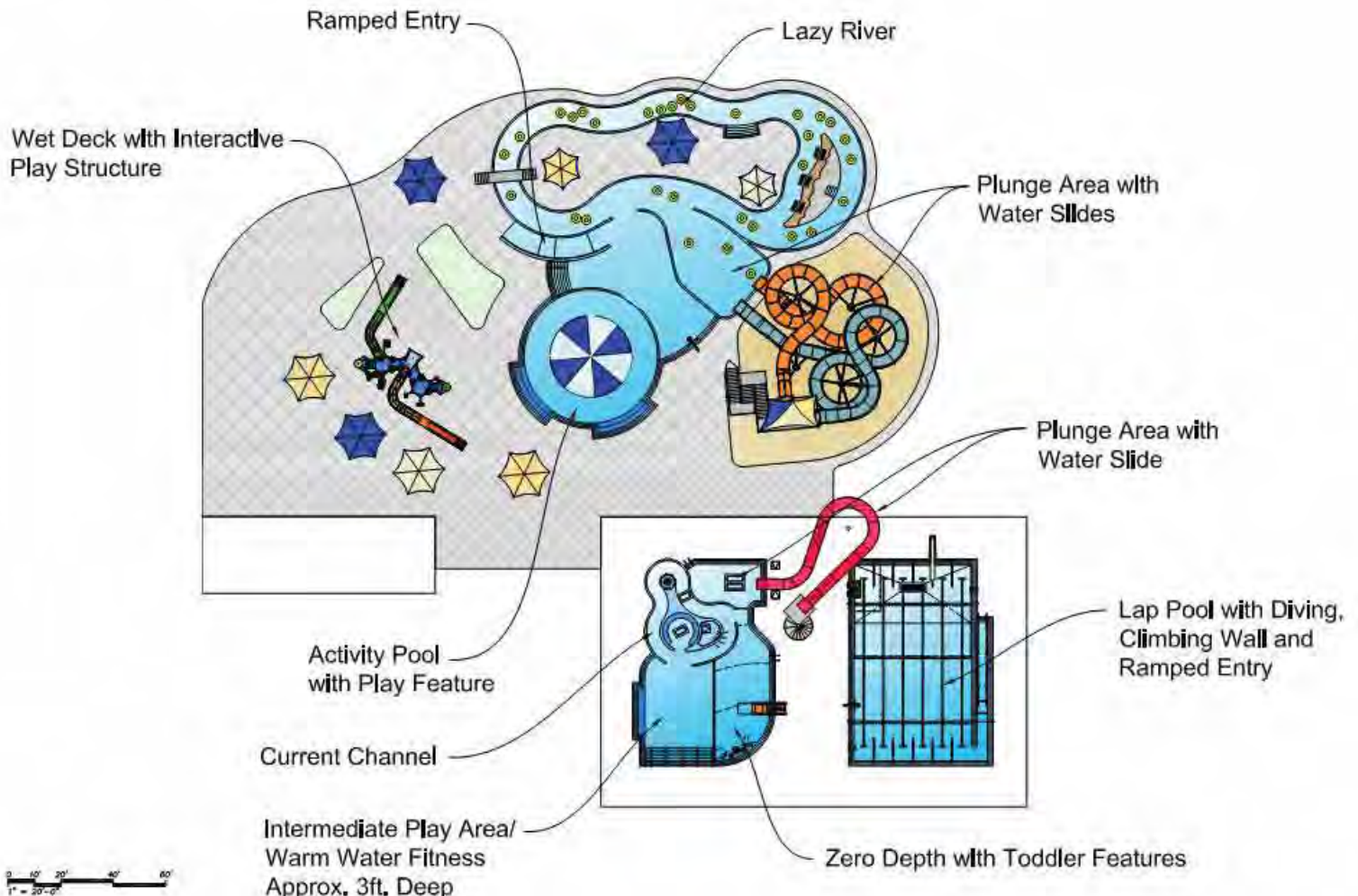
- Wet deck with interactive play feature
- Shallow area with ramped entry
- Activity pool with play feature
- Two water slides with plunge pool
- Lazy river with rockscape water falls

The indoor water surface area is 6,500 SF and outdoor water surface area is 11,500 SF, for a total water surface area of 18,000 SF.

Building spaces include approximately 17,300 SF of natatorium, 3,700 SF of locker rooms and 14,250 SF of support spaces such as community rooms, offices, restrooms, lobby, circulation, pool equipment, custodial and storage areas. Total building area to support the indoor aquatic elements is 35,250 SF.

Total building area to support the outdoor aquatic elements—including changing rooms, restrooms, concessions, lifeguard, pool equipment and storage areas, is 5,100 SF.

Construction of Scenario C and associated site support elements, including 280 parking spaces, would require approximately 10 acres of relatively developable land.





Toddler Slide



Slide and Plunge Pool



Lazy River

Scenario C—Balanced Indoor-Outdoor Aquatic Center (cont'd)



Opportunities

- Year-round use
- Accommodates many age groups
- Limited conflicts among different users
- Year-round, family-friendly fun
- Some unique experiences
- Outdoor summer experiences included

Challenges

- Higher capital cost
- Requires larger footprint than other options
- Higher operational costs

Total Project Development: *

\$17,500,000 to \$23,400,000

Annual Expenditures Ranges: **

\$645,500 to \$953,000

Annual Revenue Potential:

\$410,725 to \$565,050

Anticipated Cost Recovery

59% to 64%

Net Annual Operations Subsidy

\$234,775 to \$387,950

Current Swimming Pool

2015 Operations Subsidy:

\$371,287

FUNDING: * 15-Year Annual Property**

Tax Levy Per \$100,000 Valuation

\$49.42 to \$66.37

* Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.

** Based on program elements identified above in 2017 dollars. Includes operating, staffing and facility maintenance costs.

*** Based on City of Urbandale CIP – Quick Levy Forecast Tool, Preliminary 1/1/2015 Taxable Valuation.

Indoor Aquatic Elements

Lap Lanes Pool: 3,500 SF

- Cool water
- 4 lanes (exercise and lap swimming)
OR
- 6 lanes (for basic swim meet)
- Shared deep water/diving
- Rockscape climbing wall

Leisure Pool: 3,000 SF

- Warm water
- Shallow water play
- Open swim area (3-ft.- to 4-ft.-deep water)
- Zero-depth entry with spray features
- Underwater bench
- Enclosed Tube Water Slide
- Toddler slide
- Current channel

Site Elements

280 parking spaces
10-acre site

Indoor Building Spaces

Natatorium	17,300 SF
Locker rooms	3,700 SF
Support spaces	14,250 SF
Total building	35,250 SF

Outdoor Spaces

Outdoor aquatic support spaces	5,100 SF
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Scenario D—Outdoor Aquatic Center

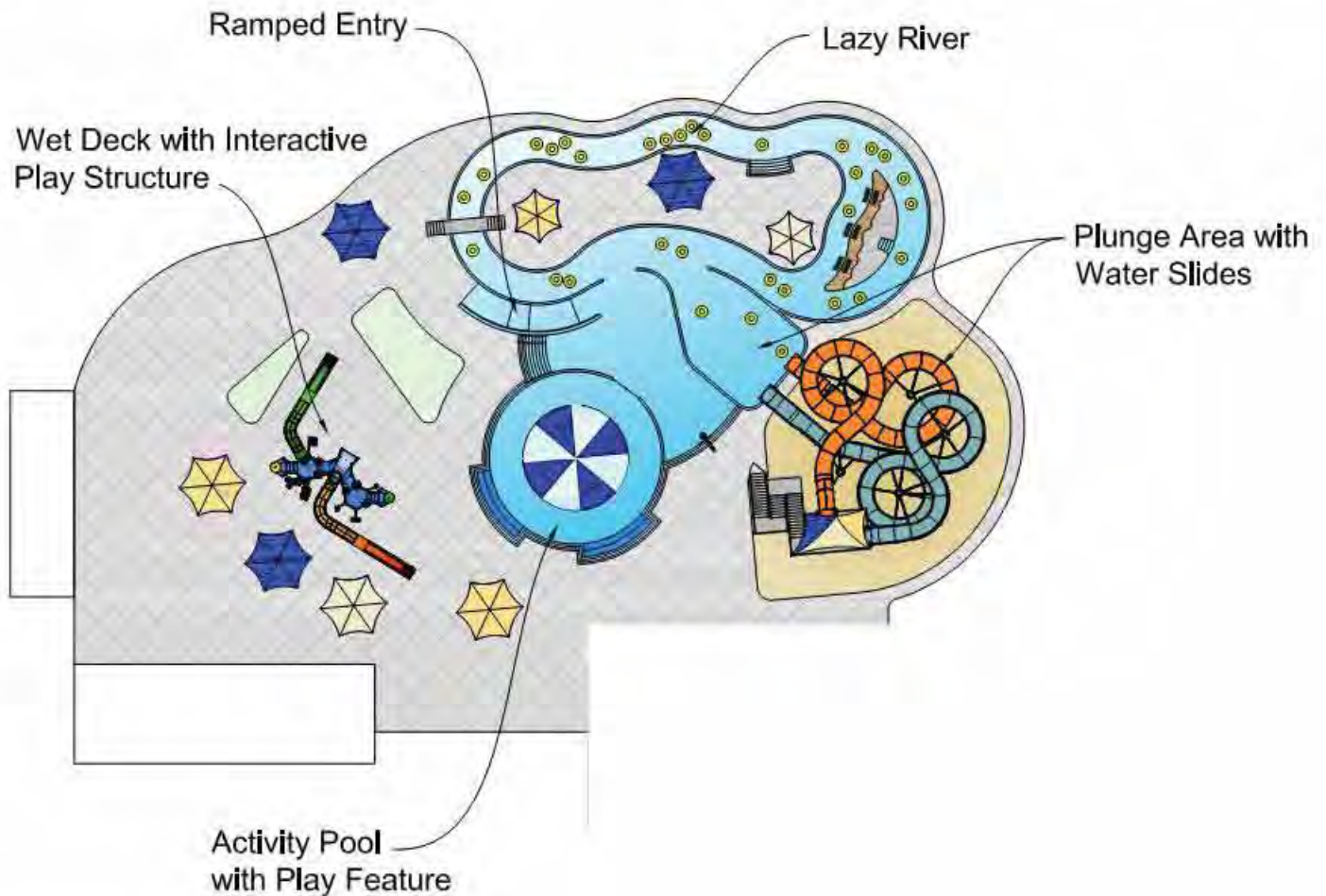
This scenario is an exclusive outdoor pool with a recreation focus, similar to the outdoor aquatic elements in Scenario C. The outdoor pool has the following key features:

- Wet deck with interactive play feature
- Shallow area with ramped entry
- Activity pool with play feature
- Two water slides with plunge pool
- Lazy river with rockscape water falls

The total water surface area is 11,500 SF.

Total building area to support the outdoor aquatic elements—including changing rooms, restrooms, concessions, lifeguard, pool equipment and storage areas, is 5,100 SF

Construction of Scenario D and associated site support elements, including 280 parking spaces, would require approximately 10 acres of relatively developable land.





Toddler Slide



Slide and Plunge Pool



Lazy River



Play Structure with Dumping Bucket

Scenario D—Outdoor Aquatic Center (cont'd)



Opportunities

- Limited conflicts among different users
- Family-friendly fun
- Some unique experiences
- Lowest annual operations subsidy
- Lowest capital cost

Challenges

- Limited seasonal operations
- No indoor aquatics provided
- No access for school swim curriculum
- No lap lanes/competitive swimming

Total Project Development: *

\$6,400,000 to \$8,700,000

Annual Expenditures Ranges: **

\$195,500 to \$253,000

Annual Revenue Potential:

\$185,725 to \$215,050

Anticipated Cost Recovery

85% to 95%

Net Annual Operations Subsidy

\$9,775 to \$37,950

Current Swimming Pool

2015 Operations Subsidy:

\$371,287

FUNDING: * 15-Year Annual Property**

Tax Levy Per \$100,000 Valuation

\$18.36 to \$24.57

* Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.

** Based on program elements identified above in 2017 dollars. Includes operating, staffing and facility maintenance costs.

*** Based on City of Urbandale CIP – Quick Levy Forecast Tool, Preliminary 1/1/2015 Taxable Valuation.

Outdoor Aquatic Elements

Water Surface: 11,500 SF

- Large interactive play structure on wet deck
- Large water slides and plunge pool

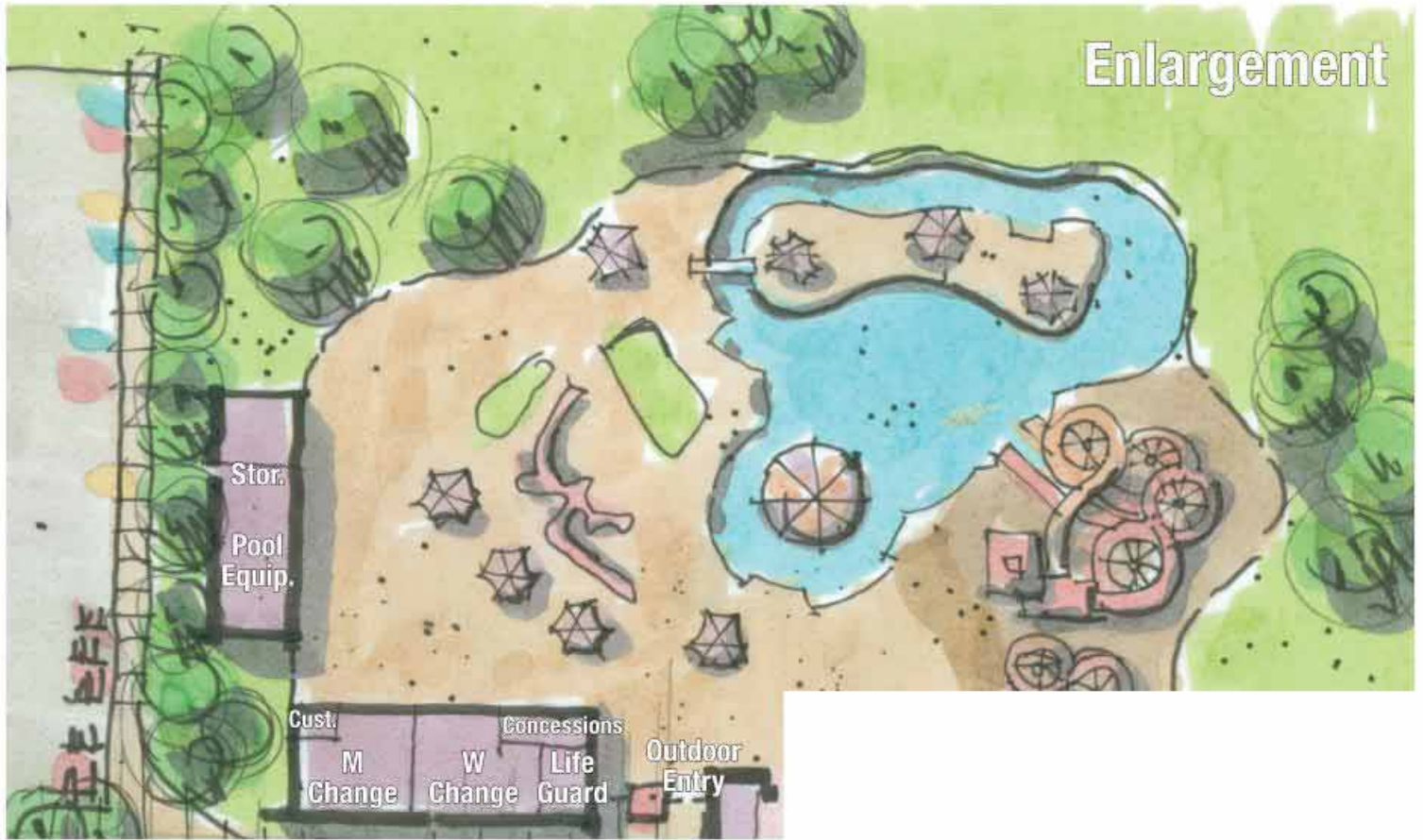
- Activity pool
- Lazy river with spray features

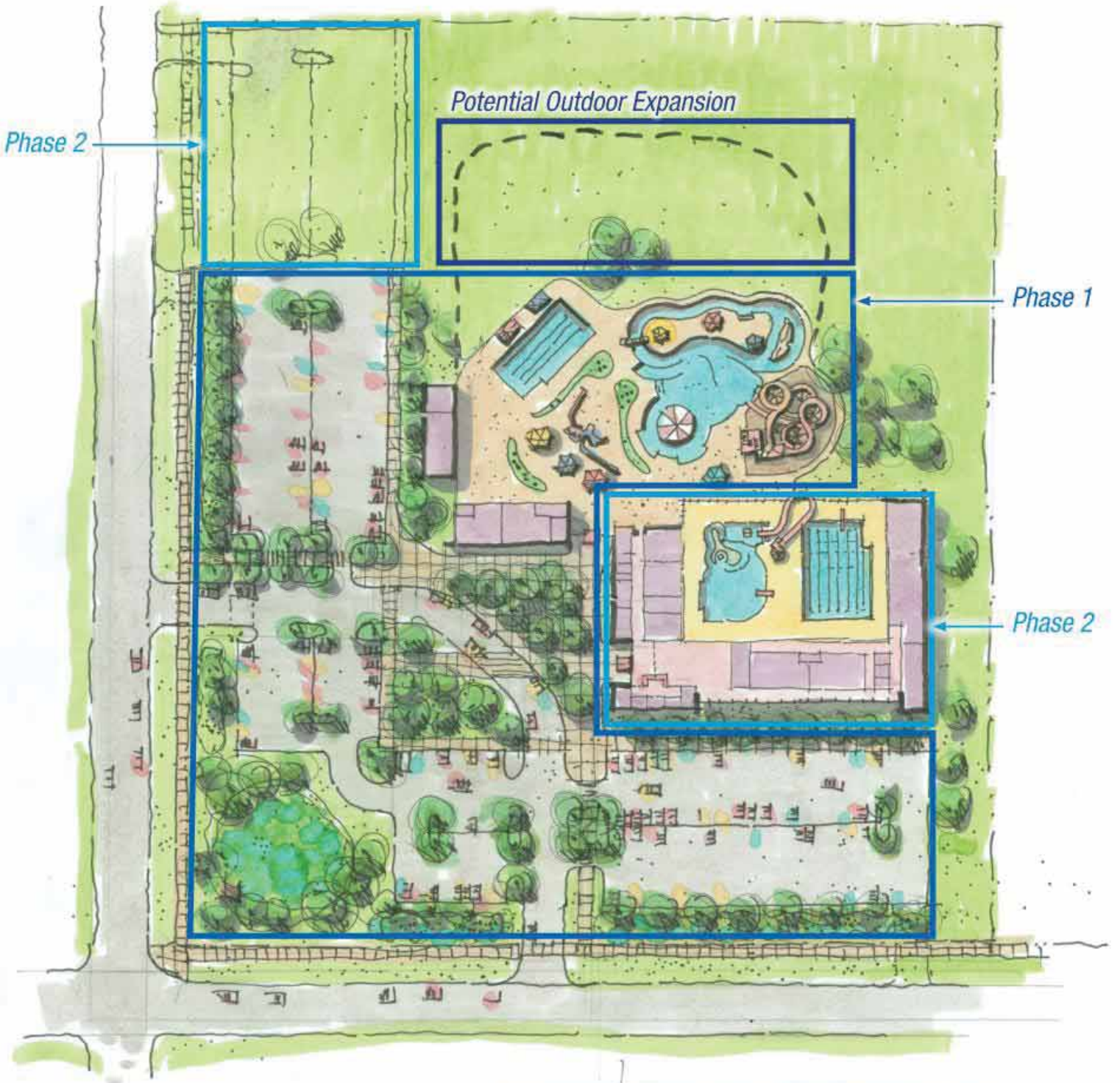
Site Elements

280 parking spaces
10-acre site

Building Spaces

Outdoor aquatic support spaces..... 5,100 SF





RECOMMENDED PHASED OUTDOOR-INDOOR AQUATIC CENTER

Chapter 6

RECOMMENDATIONS

Based on the findings of this feasibility study, the recommended aquatic facility strategies for the City of Urbandale to meet the current and anticipated future aquatic needs and wants of the community are as follows:

Phase 1

Develop a new outdoor aquatic center with available land area for future expansion of additional outdoor aquatic elements and/or development of an indoor aquatic facility.

Phase 2

At such time as the existing indoor Urbandale Swimming Pool is closed, develop an indoor aquatic facility adjacent to the outdoor aquatic center to capitalize on shared parking, capital and operational cost efficiencies and programming advantages of having these two venues located together. This indoor aquatic facility would provide facilities for programs displaced by the closing of the existing indoor Urbandale Swimming Pool as well as expanded indoor recreational aquatic offerings to citizens.

Phase 3

If desired in the future, develop expanded outdoor or indoor aquatic features to maintain and/or increase patronage, expand user capacity and increase revenue potential of the aquatic venue.

Phase 1: New Outdoor Aquatic Center

The outdoor aquatic center to be developed as Phase 1 has a recreation focus, but also supports lessons, exercise and open play programs. The outdoor pool has the following key features:

- Wet deck with interactive play feature
- Shallow area with ramped entry
- Activity pool with play feature
- Two water slides with plunge pool
- Lazy river with rockscape water falls
- Four (4) 25-yard-lane pool, water depths 3.5 feet to 4.5 feet

The outdoor water surface area is 13,900 SF.

Total building area to support the outdoor aquatic elements—including changing rooms, restrooms, concessions, lifeguard, pool equipment and storage areas, is 6,200 SF.

Construction of Phase 1 and associated site support elements, including 280 parking spaces, would require approximately 11 acres of relatively developable land. This includes land area for the Phase 2—New Indoor Aquatic Facility, and potential Phase 3—Expanded Outdoor or Indoor Aquatic Features.

Phase 2: New Indoor Aquatic Facility

The indoor aquatic facility to be developed as Phase 2 includes a two-pool basins concept. A traditional rectangular pool with a diving area that overlaps lap lanes and a separate shallow water pool. Separate pools allow different water temperatures to be maintained in each pool, with cooler water for the lap pool and warmer water for the shallow recreation pool. A glass dividing wall between the pools could be considered to further enhance operations by allowing a different air temperature and humidity to be kept in each natatorium space. Noise separation is also helped with this detail.

The traditional lap pool is planned as a 6-lane short course (25-yard) pool with one-meter springboard diving. Water depths should be suitable for multi-purpose uses, including programs for swim instruction, exercise swimming and a variety of classes, as well as competition swimming. A shallow water depth of 3.5 feet and a maximum water depth of 13.5 feet are recommended. A ramped entry into the lap pool provides ADA access and a convenient method for all users to enter and exit the pool. Lap lane pool key features include:

- Cool water
- 4 lanes (exercise and lap swimming)
OR
- 6 lanes (for basic swim meet)
- Shared deep water/diving
- 3,700 SF of water surface

The recreation pool will emphasize shallow, warm water and provide fun features. Key features include:

- Two short lap lanes
- Zero-depth area with sprays

- Play structure with a toddler slide
- Current channel
- Enclosed tube water slide with a run-out
- Open swim area (3-foot- to 4-foot-deep water)
- 2,800 SF of water surface

The total water surface area is 6,500 SF.

Building spaces include approximately 15,800 SF of natatorium, 3,700 SF of locker rooms and 14,250 SF of support spaces such as community rooms, offices, restrooms, lobby, circulation, pool equipment, custodial and storage areas. Total building area is 33,750 SF.

Indoor Building Spaces	
Space	SF
Natatorium	15,800
Locker Rooms	3,700
Support Spaces	14,250
Total Building	33,750

Construction of Phase 2 will not require additional land area or parking beyond the 11 acres of land and 280 parking spaces identified in Phase 1, as the parking will be shared between the outdoor aquatic center and indoor aquatic facility.

Phase 3: Expanded Outdoor or Indoor Aquatic Features

At such time as the City deems it appropriate to expand the outdoor aquatic center or indoor aquatic facility, it is recommended that an updated aquatic market review be completed to understand what potential aquatic facilities or features gaps might exist in the current market to inform what features or amenities might be added. This will aid in maximizing revenue potential of the aquatic venue based on expanded features and minimizing oversaturation of the aquatic market with duplicated amenities and features. For purposes of this feasibility study, it is simply recommended that adequate space be preserved adjacent to the Phase 1 (outdoor aquatic center) and Phase 2 (indoor aquatic facility) site areas for a potential Phase 3 expansion in the future.

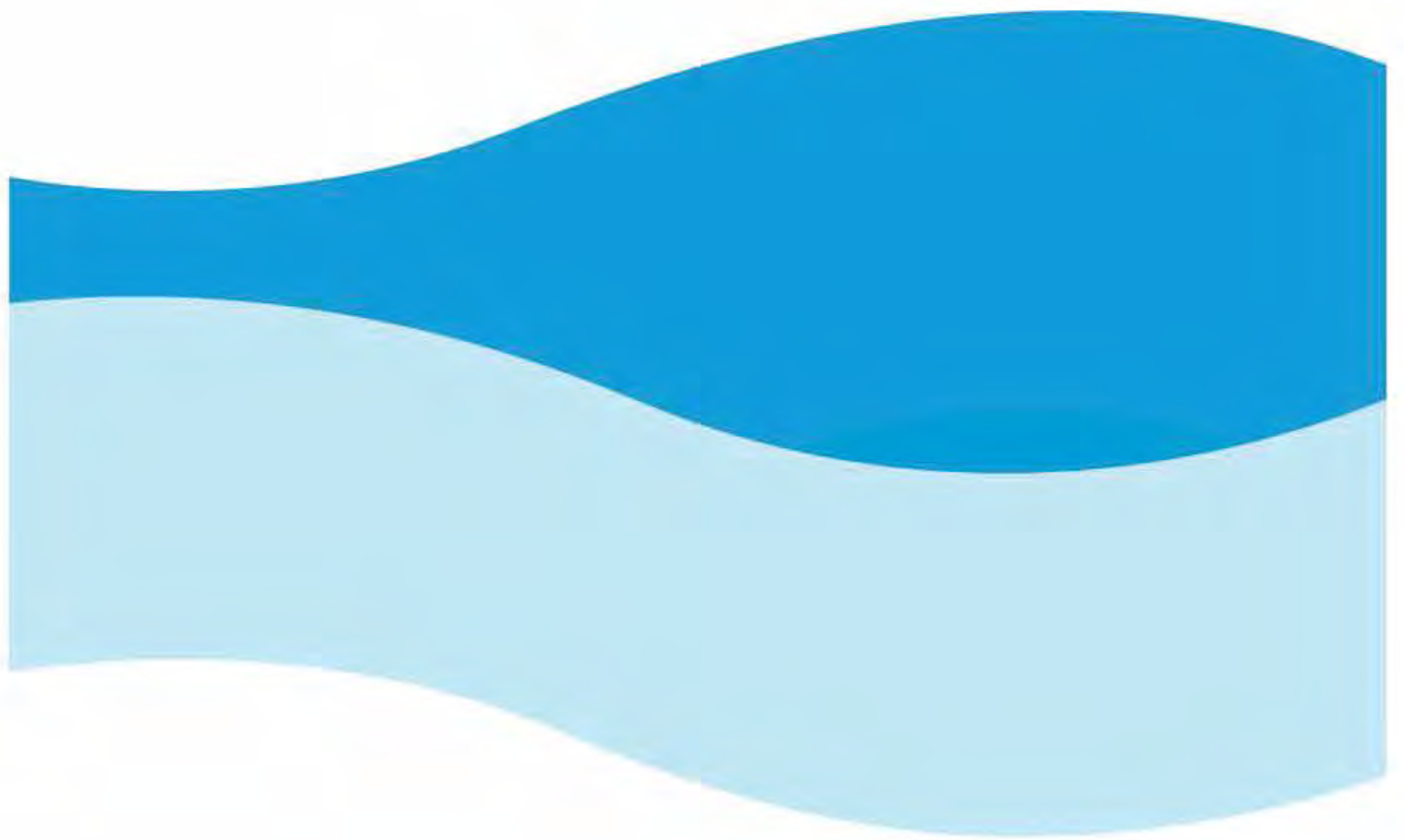
Construction of the recommended phased outdoor-indoor aquatic center and associated site support elements, including 280 parking spaces, would require approximately 11 acres of relatively developable land.

Cost Ranges	
Total Project Development ⁽¹⁾	
Phase 1 – Outdoor Aquatic Center	\$7,800,000 to \$10,400,000
Phase 2 – Indoor Aquatic Facility	\$10,600,000 to \$14,200,000
Phase 3 – Expanded Features	to be determined
Phase 1—Outdoor Aquatic Center	
Annual Expenditures Ranges ⁽²⁾	\$236,500 to \$306,000
Annual Revenue Potential	\$224,675 to \$260,100
Anticipated Cost Recovery	85% to 95%
Phase 1 Net Annual Operations Subsidy	\$11,825 to \$45,900
Phase 2—Indoor Aquatic Facility	
Annual Expenditures Ranges ⁽²⁾	\$450,000 to \$700,000
Annual Revenue Potential	\$225,000 to \$315,000
Anticipated Cost Recovery	50% to 45%
Phase 2 Net Annual Operations Subsidy	\$225,000 to \$385,000
Current Swimming Pool 2015 Operations Subsidy	\$371,287

1. Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.
2. Based on program elements identified above in 2017 dollars. Includes operating, staffing and facility maintenance costs.

Funding Ranges ⁽³⁾	
Phase 1—Outdoor Aquatic Center	
Based on Phase 1 Total Project Development ⁽⁴⁾ cost of \$7,800,000 to \$10,400,000	
15-Year Annual Property Tax Levy Per \$100,000 Valuation	\$22.60 to \$29.38
Phase 2—Indoor Aquatic Facility	
Based on Phase 2 Total Project Development ⁽⁴⁾ cost of \$10,600,000 to \$14,200,000	
15-Year Annual Property Tax Levy Per \$100,000 Valuation	\$29.94 to \$40.11

3. Based on program elements identified above in 2017 dollars. Includes construction, owner contingency, FFE and A/E fees. Does not include land acquisition or applicable financing costs.
4. Based on City of Urbandale CIP—Quick Levy Forecast Tool, Preliminary 1/1/2015 Taxable Valuation.



Chapter 7

NEXT STEPS

In addition to the recommended phased approach to an indoor-outdoor scenario, we recommend two key next steps: continued conversations with nearby communities and a scientific, random-sample survey of Urbandale residents.

Continued Community Conversations

A few nearby communities are worthy of city staff pursuing a dialogue about partnering. The goal would be to determine if there is sufficient interest and opportunity for a possible shared location to allow the partnership to be tested in the survey recommended below.

Waukee

A conversation was held with key city staff indicating their interest in further discussion. They recognize the quality-of-life need that Waukee shares with Urbandale in delivering at least an outdoor pool experience to residents and they appear willing to explore potential locations where costs/services could potentially be shared. With both Waukee and Urbandale continuing to grow, we recommend that this dialogue continue.

Clive

While no formal conversations were held with the City of Clive, the current use of the Clive facility by Urbandale residents, and its central location, make the case compelling for staff to pursue a potential partnership. In this instance, the dialogue would involve looking at the existing Clive facility's needs coupled with the interests of Urbandale residents resulting in a mutually beneficial expanded facility at the current location of Clive Aquatics. The City of Clive continues to make plans for the Clive Aquatics site. This study recommends dialogue get underway as soon as possible.

Grimes/Johnston

Grimes and Johnston looked at shared facilities in the past, with the bond referendum passing in Grimes, but not in Johnston. Key staff members at the City of Grimes appear open to additional conversation about locations of benefit to Grimes and Urbandale, or perhaps a location with reasonable proximity to the residents of all three communities. Follow-up here is warranted.

Programming and Planning

This feasibility study has identified multiple aquatic facility scenarios and ultimately a phased outdoor-indoor aquatic center recommendation for the City of Urbandale to meet current and future aquatic needs and wants of citizens. It is recommended a detailed programming and master planning effort be completed to define specific aquatic, building and site elements to be included as part of the proposed aquatic center. More refined development costs, operation expenditures and revenue potentials, cost-recovery targets and specific site suitability developed as part of this subsequent master planning effort will enable the City and citizens to be well-informed about the planned future aquatic center.

Random Sample Survey

The on-line questionnaire provided in this feasibility study did not generate a sample that reflects Urbandale's demographic mix. Administering a scientific, random-sample survey is recommended to determine whether a broader mix of Urbandale voters are likely to support the recommended phased outdoor-indoor aquatic center at the Walnut Creek Regional Park location and the proposed funding mechanism for the project. If the partnering conversations recommended above bear fruit, such a scenario could also be tested or substituted for the scenario recommended here.

APPENDIX

Visual Learning Results

Walnut Hills Elementary School

Webster Elementary School



A

5



A



B

1



B



C

29



C



D

4



D

Visual Learning Results

Walnut Hills Elementary School

Webster Elementary School



E

14



E



F

31



F



G

32



G



H

0



H

Visual Learning Results

Walnut Hills Elementary School

Webster Elementary School



11

I



I



2

J



J



26

K



K

Visual Listening Boards



Urbandale Aquatic Facility Feasibility Study

NOTE: We are accepting survey responses through Sunday, May 1. Thank you.

As part of an aquatics feasibility study for the City of Urandale, we're interested in your opinion about what you would like to see happen in the future of Urandale aquatics. As you answer these questions, please keep in mind the following:

- The City of Urandale does not know whether a new aquatics center is in its future or not. The feasibility study is the first step in the process for making decisions regarding the future of aquatics in Urandale. The purpose of the study is to determine if a new aquatic facility makes sense for the City of Urandale, and if the community would be supportive of building a new aquatic venue. Community input is vital to the process, so that aquatic decisions can be made that meet the needs of our community. If there is support for a new facility of any kind, a voter referendum would be required to approve the project prior to construction.
- At this time, the City plans to keep our current indoor pool open until it is no longer fiscally or physically feasible to do so. The current facility is 40 years old, and, as with any building, it has a limited life span due to aging physical structure and mechanical systems. Improvements have been made over the last several years that should allow the facility to operate 5-7 more years.

Thank you for taking time to complete this survey. We welcome your children to take it, as well. You might need to help the youngest in your family, but many will be able to take this short survey on their own. Thank you!

1. What are the TOP TWO reasons you would use an Aquatics Facility in or near the community of Urandale?

PLEASE CHECK NO MORE THAN TWO

- Recreation/fun
 - Exercise/training
 - Learn to swim/lessons
 - Competitions/racing
 - Meeting friends/family
 - Special events or programs
 - I have no interest in a new aquatics facility
 - Other (please describe)
-

2. What primary features are of greatest interest to you in a new aquatics facility?

PLEASE CHECK NO MORE THAN THREE

- General/free swim area
 - Area for small children/zero-entry pool
 - Lap swim area
 - Diving boards
 - Lazy river
 - Adventure features (tunnels, funnels, slides, etc.)
 - Areas for sports (water basketball, polo, etc.)
 - Competitive swimming/Olympic-size pool
 - Areas for instruction/learning
 - I have no interest in a new aquatics facility
 - Other (please describe)
-

3. What secondary features are of greatest interest to you to have with a new aquatics facility?
PLEASE CHECK NO MORE THAN THREE

- Restrooms/shower/locker rooms/family changing areas
 - Snack/food or picnic areas
 - Trails connections
 - Additional outdoor play – splash pads, sand volleyball, etc.
 - Lounge chairs/seating
 - Lawn/grassy areas
 - Shade/shade structures
 - Special events for the public (e.g., carnivals, egg-dives, in-pool movies)
 - Special events/rentals (birthday parties, reunions, etc.)
 - I have no interest in areas to accompany a new aquatics facility
 - Other (please describe)
-

4. What would you see as the most important programs to offer at the new aquatics facility?
PLEASE CHECK NO MORE THAN THREE

- Swim lessons
 - Water aerobics/water exercise
 - Lap swimming for all ages
 - Competitive swimming for school-age students
 - Competitive swimming for adults
 - Physical therapy
 - Other (please describe)
-

(survey continues...)

5. Where would you prefer a new aquatics facility to be located?

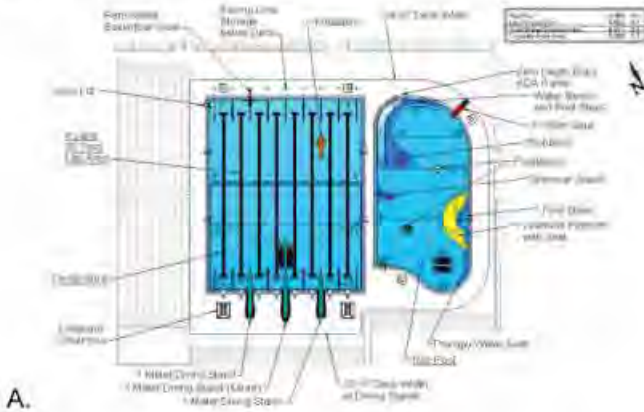
- East of I-35/80
 - West of I-35/80
 - As centrally located in Urbandale as possible (regardless of which side of the Interstate)
 - Other (please describe)
-

6. Above are three examples of different concepts for aquatics facilities. These appear here only to help us better understand what's appealing to you. Please select the one concept that best meets the needs of you and your family.

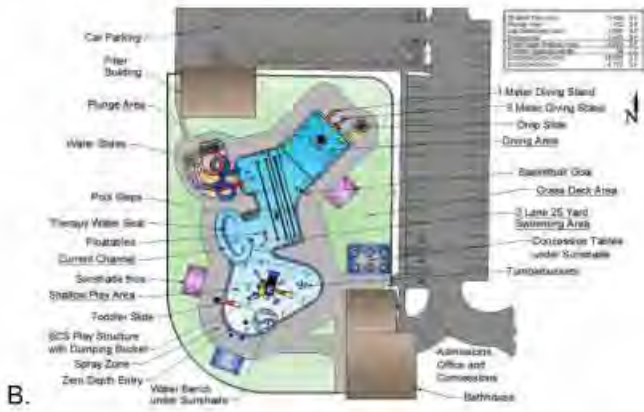
- A.
- B.
- C.

Please explain the reason for your choice:

For Question #6, please look at the following three images—A, B and C...



A.



B.



C.

7. Do you have a preference for an indoor or outdoor pool?

- Indoor
- Outdoor
- Both
- No preference

8. Assuming an aquatics facility is proposed that meets many of your needs, under what financial terms would you be most interested in voting for a new aquatics facility? **CHECK ALL THAT APPLY**

- If the City of Urbandale had full ownership of the new facility
 - If the City were partnered with another community to support the facility
 - If the City were partnered with a private for-profit business to support the facility
 - If the City were partnered with a private non-profit business to support the facility
 - Other (please describe)
-

9. What's more important – where the pool is located or whether the pool can be built on land that's free to the City of Urbandale?

- Location is more important
- Land available at no cost is more important
- Both are equally important

(survey continues...)

10. Under what circumstances would you vote against a new aquatics facility for Urbandale? Please describe briefly.

11. Currently, where are the aquatics facilities you and your family use most often? CHECK ALL THAT APPLY

- Waukee YMCA
 - Walnut Creek YMCA
 - Other YMCA
 - Lifetime Fitness
 - Pools in Ankeny
 - Pools in West Des Moines
 - Clive Aquatics Center
 - Pools in Adel, Grimes, Johnston – or other suburban community
 - Pools in the City of Des Moines
 - City of Urbandale Pool (next to Urbandale High School)
 - Other Private Pool
 - Other (please describe)
-

12. What else do you want to tell us about a new aquatics facility in Urbandale?

Finally, some quick questions about yourself:

Are you an Urbandale Resident?

- YES; I live EAST of I-35/I-80
- YES; I live WEST of I-35/I-80
- NO; my ZIP code is: _____

Which category best describes your age?

- 15 or younger
- 16-24
- 25-39
- 40-54
- 55-69
- 70+

Gender:

- Male
- Female

Do you have children under the age of 18 living with you full- or part-time at home?

- No
- No, but grandchildren (or other children) are frequently in my care
- Yes (how many?) _____

THANK YOU FOR PARTICIPATING!

Online Questionnaire Results



Urbandale Aquatic Facility Feasibility Study Unscientific Online Questionnaire Results *(not statistically valid)*

1040 total responses

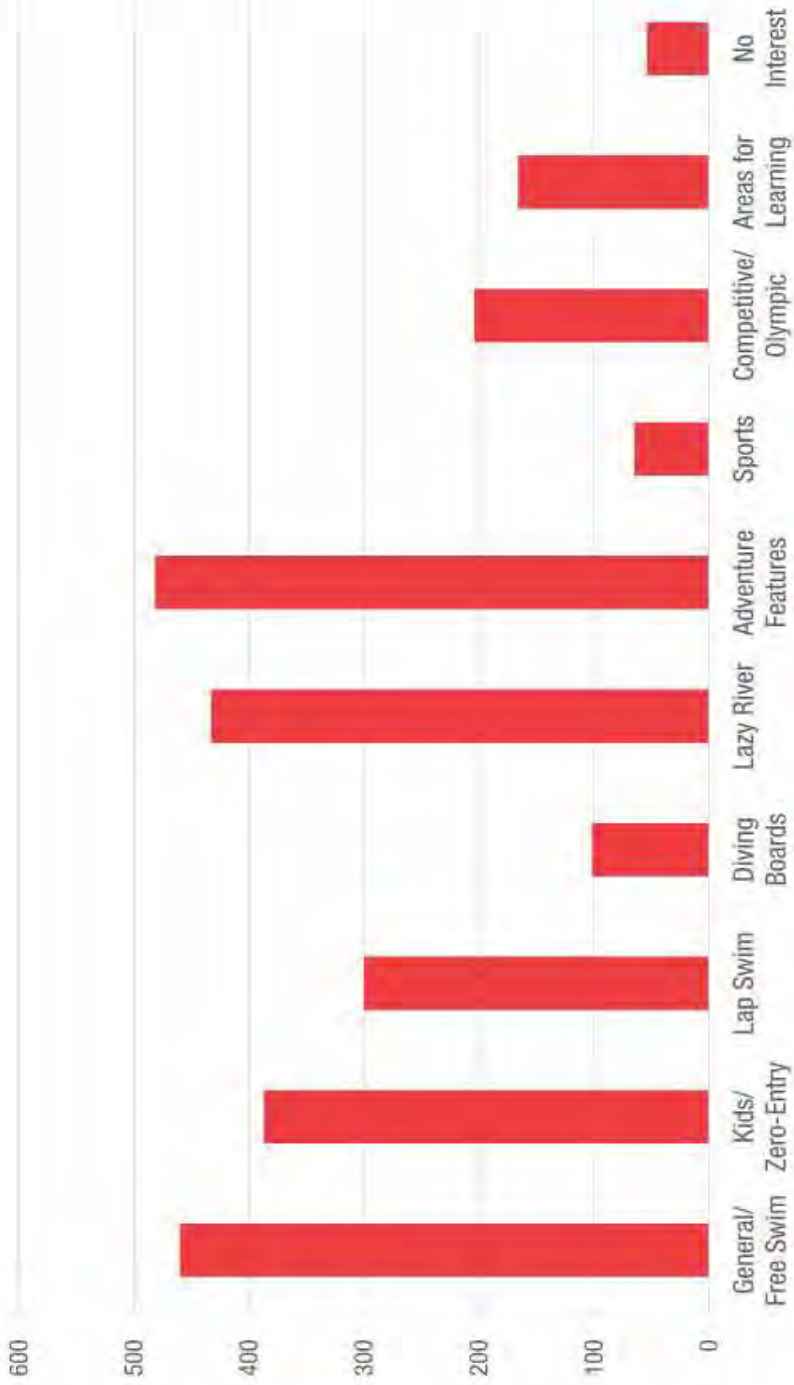
Online questionnaire close date: May 2, 2016



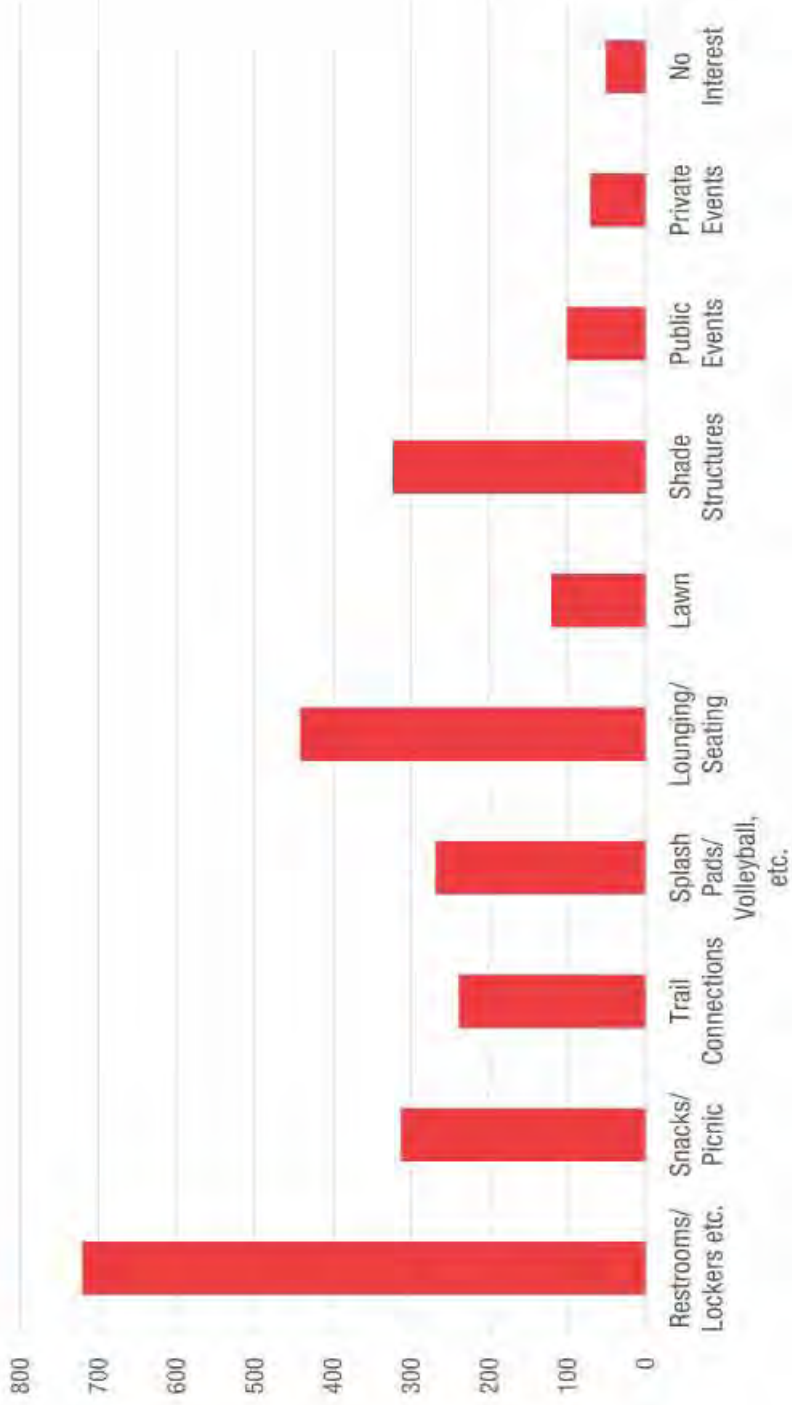
Top Two Reasons to Use Facilities



Primary Features



Secondary Features



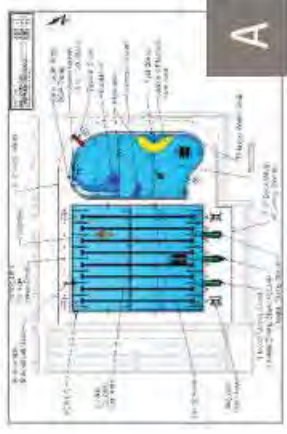
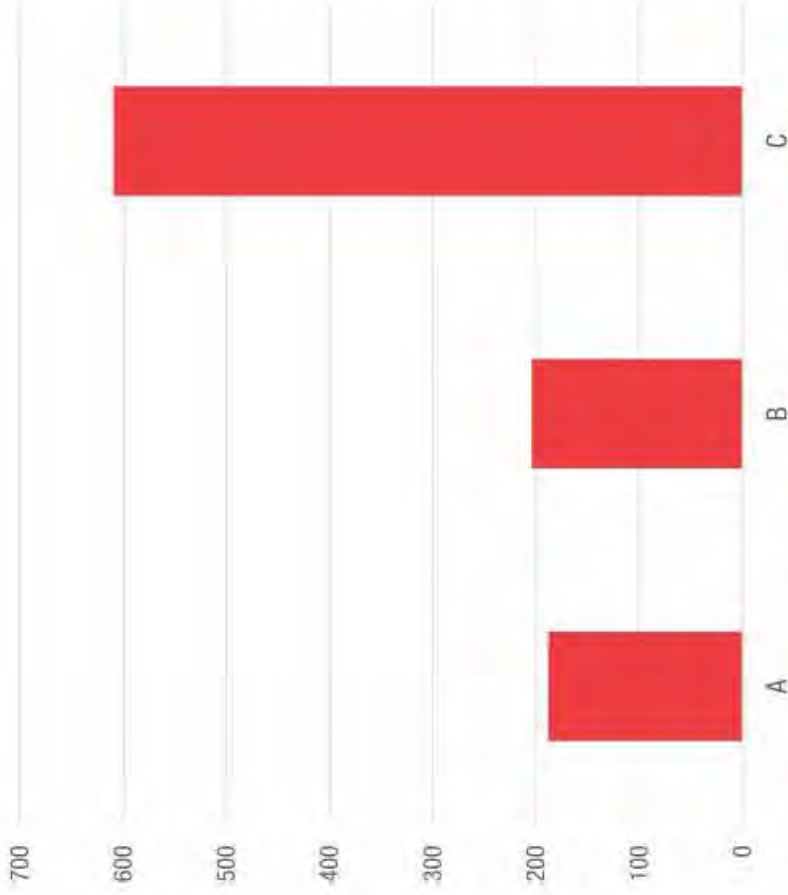
Programs



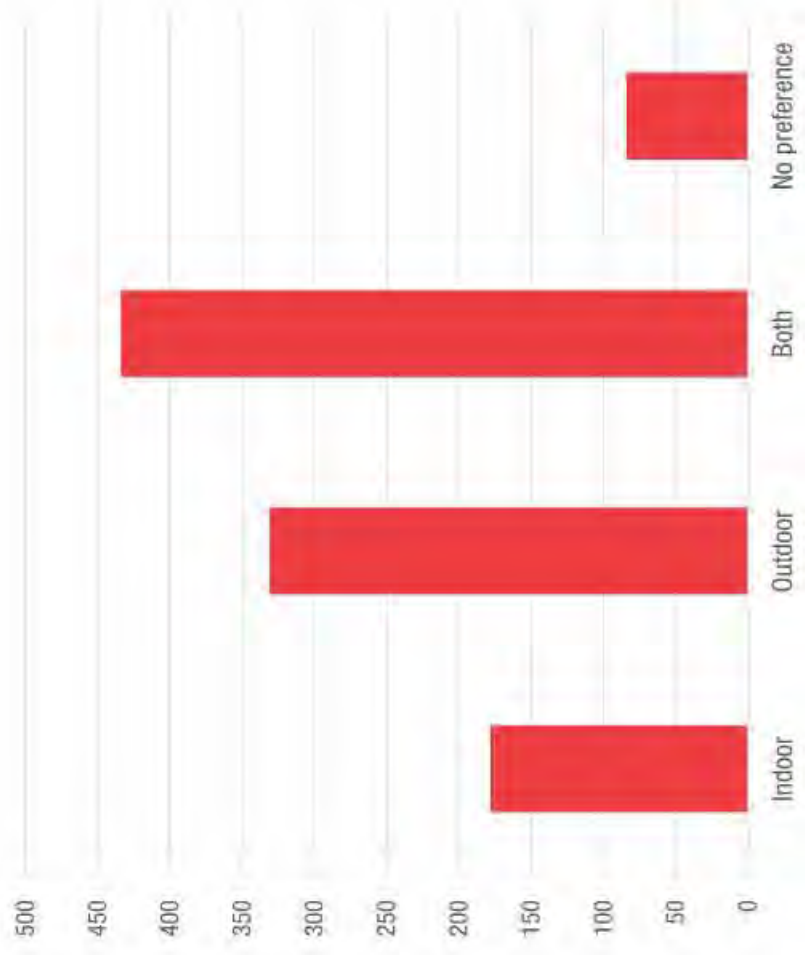
Where Should New Facility Be Located?



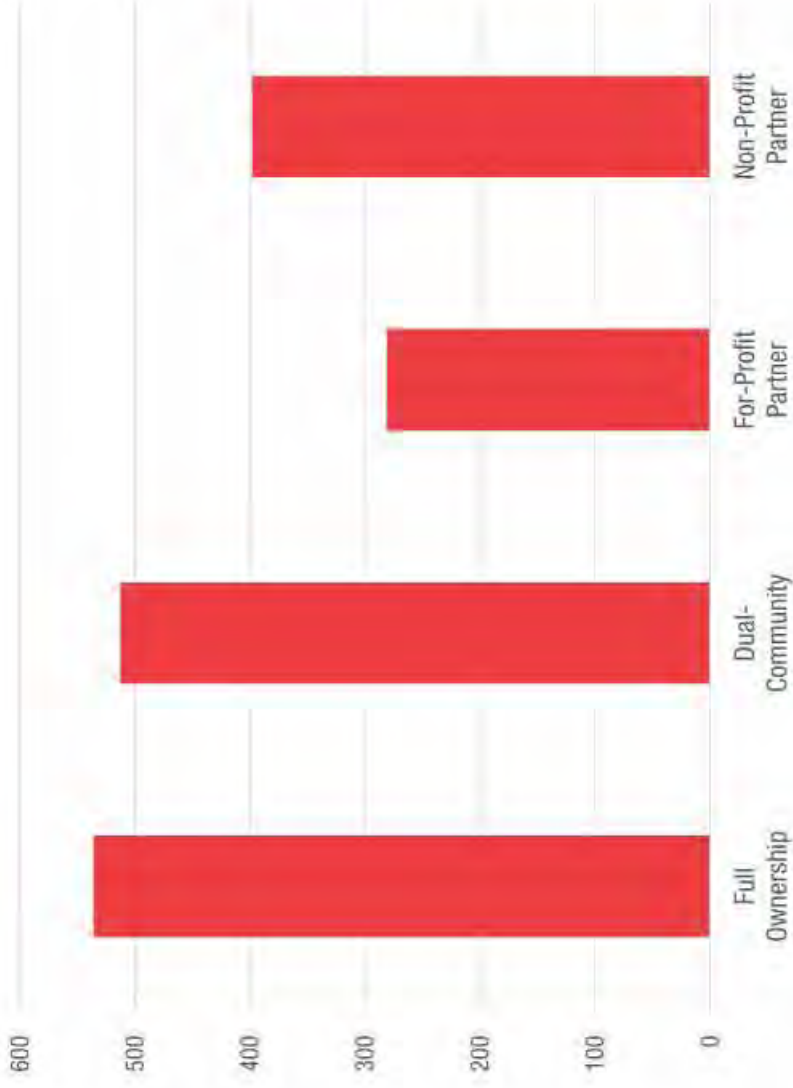
Which Design Do You Prefer?



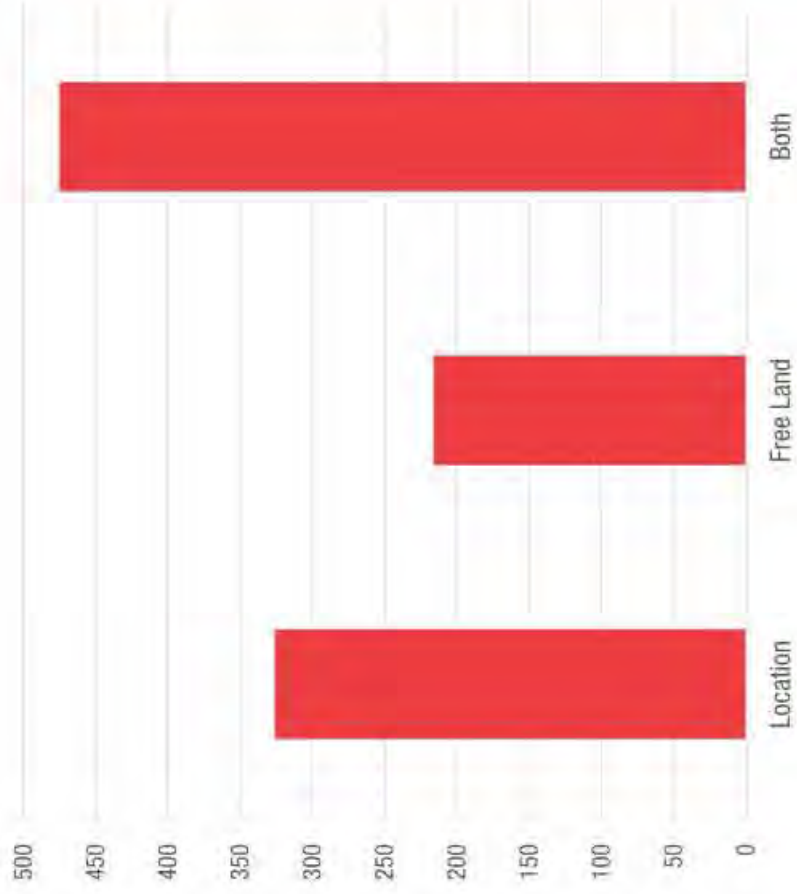
Indoor/Outdoor Preference?



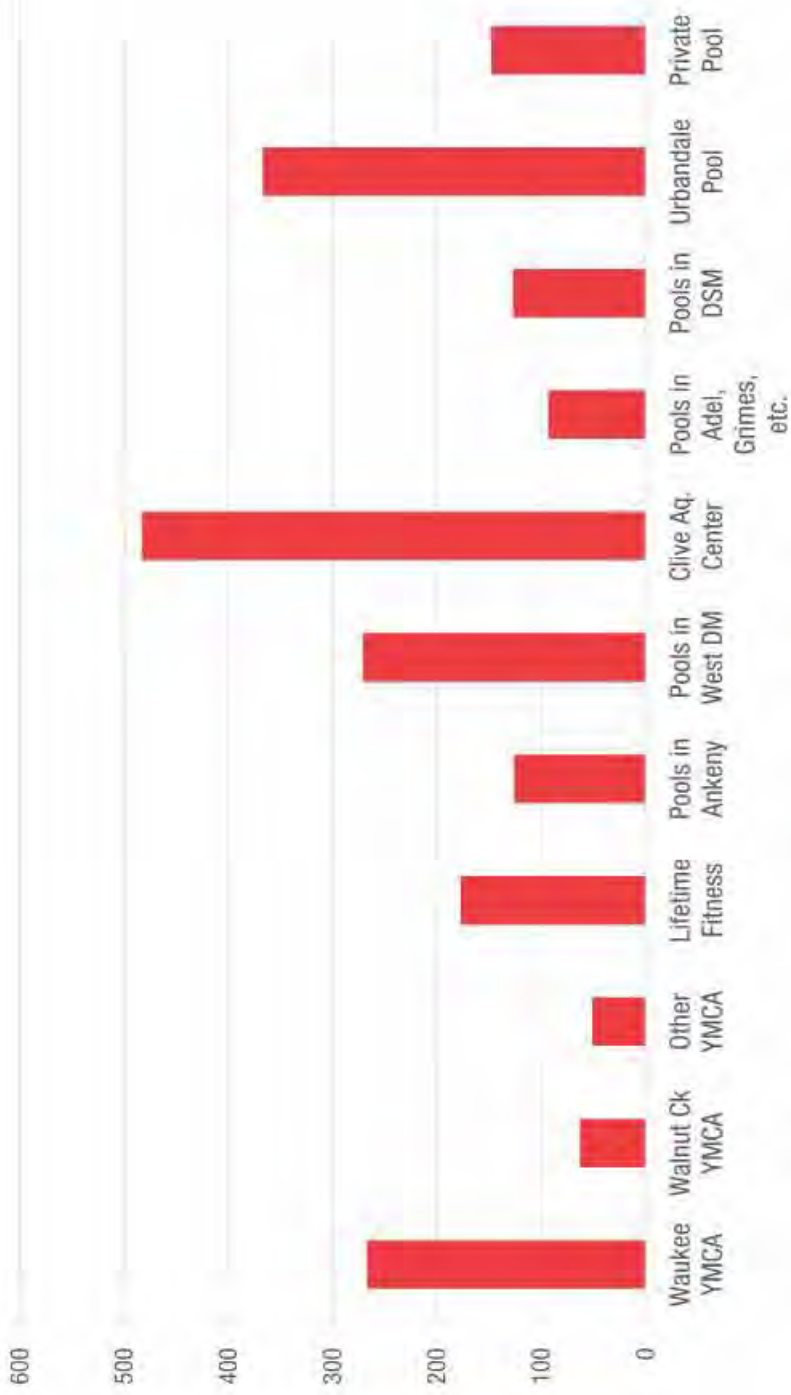
Financial Terms



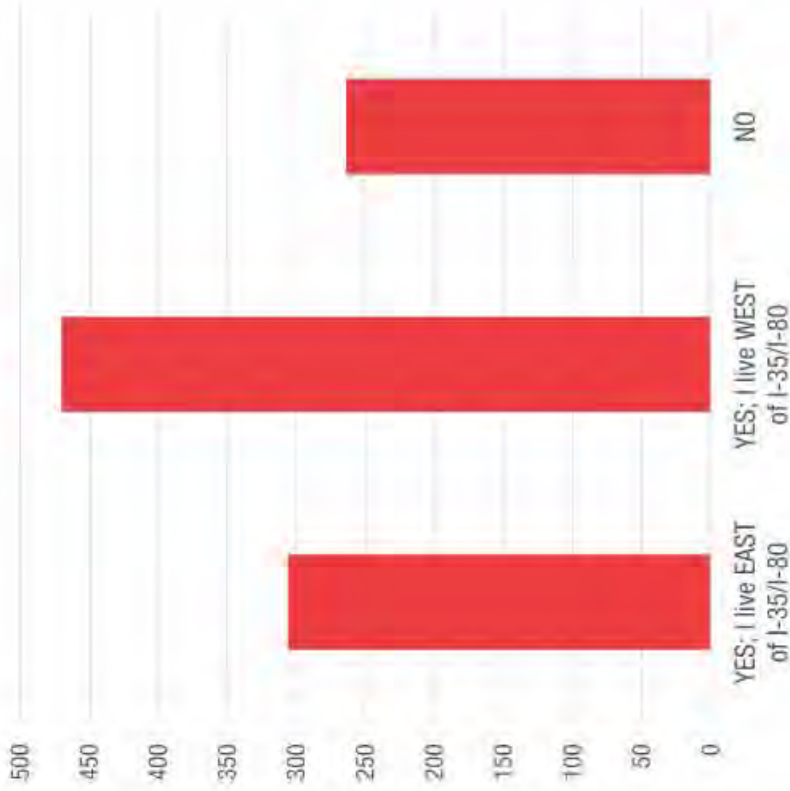
Location vs. Available Land



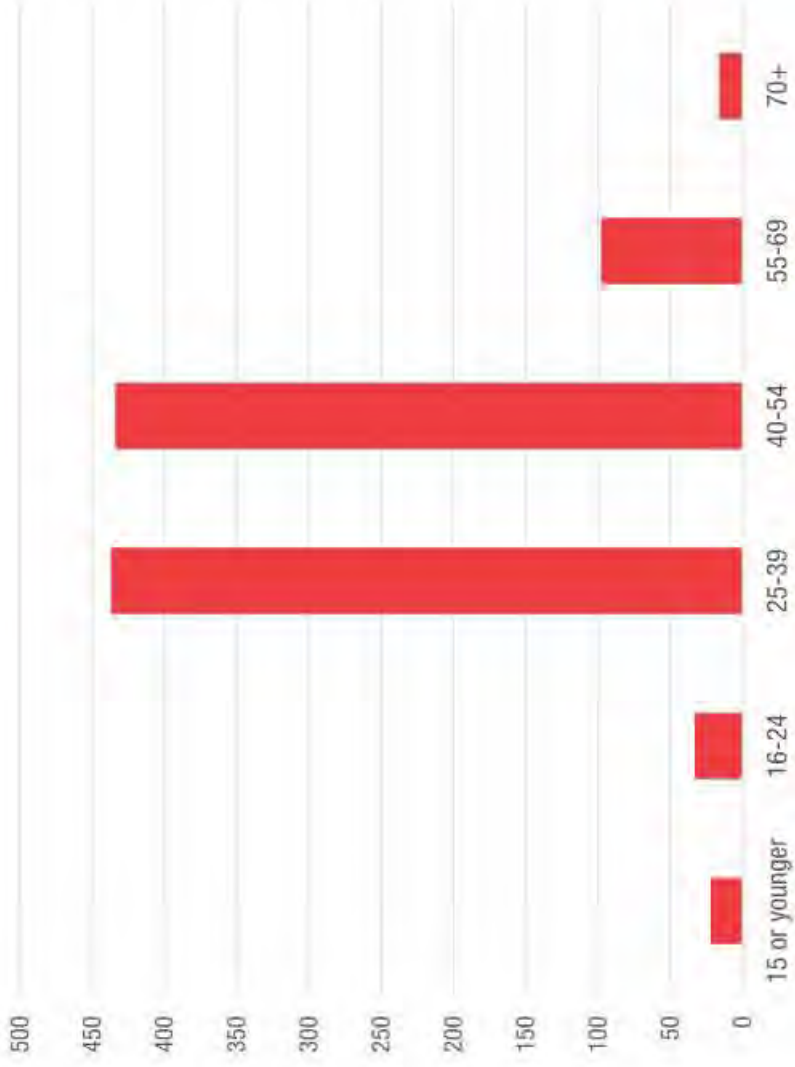
What Facilities Do You Use Most?



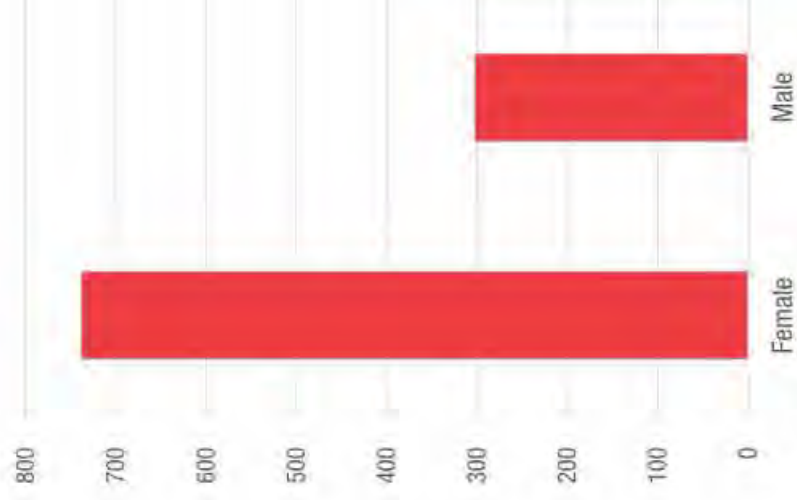
Are You an Urbandale Resident?



What is Your Age?



What is Your Gender?



Do You Have Kids Living with You?

